

APPENDIX C

VANDEN MEADOWS SPECIFIC PLAN

VANDEN MEADOWS SPECIFIC PLAN



PREPARED BY

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VANDEN MEADOWS SPECIFIC PLAN
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1.0 INTRODUCTION

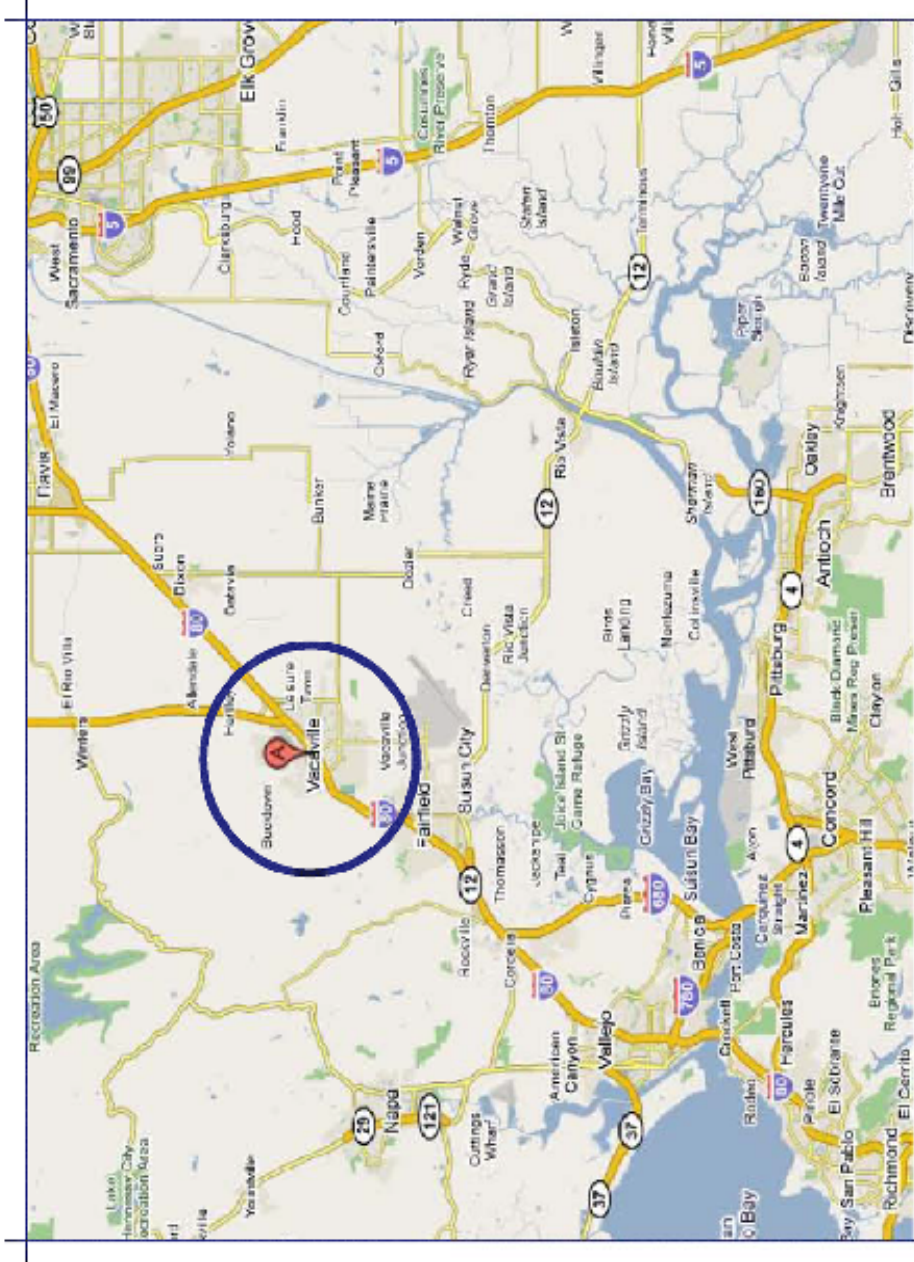
1.1 SUMMARY

The primary objective of this Specific Plan is to create development standards and a land use plan for the Vanden Meadows area that will satisfy the overall goals of the City while recognizing and tying into the Southtown Project and its design theme.

The total Vanden Meadows area comprises 260 +/- acres and is bounded by Nut Tree Road on the west, the Southtown Project to the north, the railroad property to the east and the Vacaville/ Fairfield buffer to the south. (See Figure 1.1 Regional Map and Figure 1.2 Vicinity Map) The property comprises 5 land owners (See Figure 1.3 Vanden Meadows Properties). Presently the subject properties are vacant and are used mostly for dry farming (See Figure 1.4 Vanden Meadows Satellite Photo).

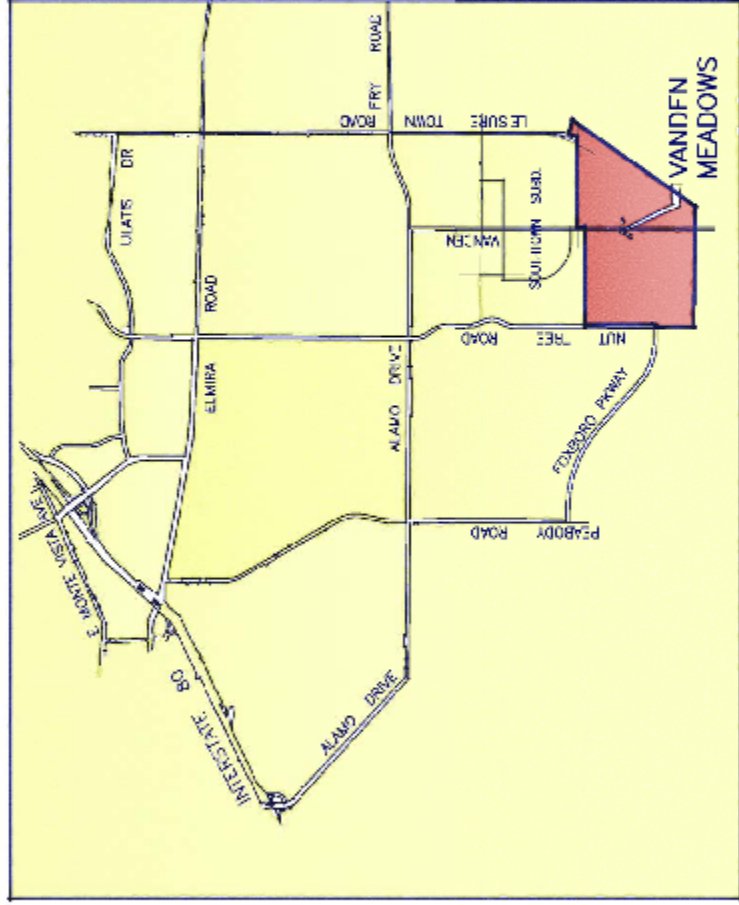
The project is proposed to include the following amenities:

- Two new schools (Middle School and Elementary School) or one new K-8 School.
- Foxboro Connection between Nut Tree Road and Leisure Town Road. (While construction of the middle two lanes of this project is the responsibility of the Southtown Project, it is recognized that annexation of the property may be required to effectuate that construction.)
- Improvements to Leisure Town Road (in conformance with Jepson Parkway Plan).
- New City Park (adjacent to the new school(s)).
- Trails throughout the development which also connect to the Southtown trail system.
- Variety of housing types and densities while maintaining an overall density of 4.56 +/- units/ acre, as specified in the General Plan (which designates a range of 3.1-5 units/ acre for this area).



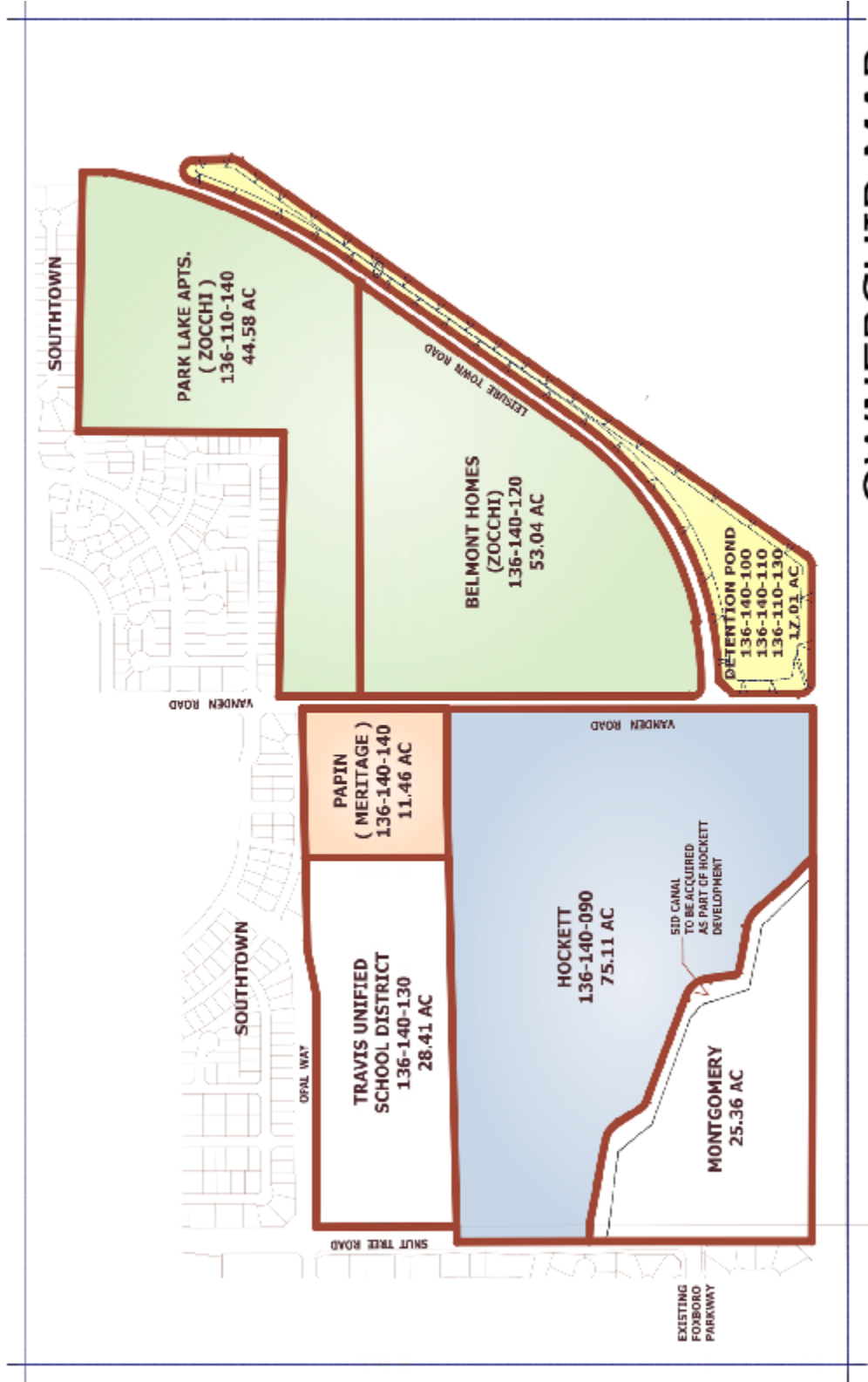
REGIONAL MAP

FIGURE 1.1 VANDEN MEADOWS



VICINITY MAP

FIGURE 1.2 VANDEN MEADOWS



OWNERSHIP MAP

FIGURE 1.3 VANDEN MEADOWS



FIGURE 1.4: VANDEN MEADOWS SATELLITE PHOTO



NOT TO SCALE

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PROJECT NAME/LOCATION:

**VANDEN MEADOWS
SATELLITE PHOTO**

DRAFTED BY: AJT
 CHECKED BY: TAP
 PROJECT NO.: 280280
 DWG NAME: PW.1.4 SAT. PHOTO
 ISSUE DATE: 04/14/08



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The following describes the prior mentioned amenities and outlines the benefits of annexation into the City of Vacaville:

1.1.1 Schools

The Travis Unified School District has acquired a 30 +/- acre site in the Vanden Meadows area and identified it as the future site of 1 or possibly 2 schools. The School District is currently conducting studies to determine if they will build a middle school and an elementary school or one K-8 school. The District master plan calls for this school to be built in 3-5 years (approximately 2012 – 2014) depending on rate of buildout of the Southtown Project and the Vanden Meadows Project. The school(s) will need City of Vacaville water and sewer services to develop the project which will require annexation into the City of Vacaville.

1.1.2 Foxboro Parkway

The Foxboro Parkway connection from Nut Tree Road to Vanden Road has been identified by the City of Vacaville as a key arterial which will provide an enhanced connection to Leisure Town Road and Vanden Road (the future Jepson Parkway) from the Foxboro development area. Construction of the middle two lanes is a requirement of the Southtown Project. This will be required when Vanden Road is closed for construction of the new Community Park within Southtown. However, obtaining the right of way has proved problematic and condemnation may be required. In order for the City to proceed with condemnation; the property must be within the City limits.

1.1.3 Improvements to Leisure Town Road (Jepson Parkway)

Recently the Solano Transportation Authority (STA) adopted the Jepson Parkway Plan Line a portion of which comprises Leisure Town Road and Vanden Road South of Leisure Town Road. With development of the Vanden Meadows area frontage roadway and landscaping improvements will be constructed along this key corridor serving Fairfield and Vacaville.

1.1.4 New City Park

Development of the Vanden Meadows area will result in the construction of a new 7.38 +/- acre (gross) park adjacent to the proposed school site. The Travis Unified School District has indicated that they would like to have a joint use agreement between the District and the City regarding this park to increase its usability and functionality.

1.1.5 Trail System

In addition to the new park, a series of trails will be constructed throughout the development which will provide a pedestrian friendly connection with the park, the school(s) and with the Southtown Trail system. The Vanden Meadows project will be constructing approximately 4 miles of trails and when combined with the Southtown Trails represents a total of 10.6 miles of interconnected trails. These trails along with the park and landscaping comprise 30.38 acres of dedicated open space and recreational area.

1.1.6 Variety of Housing Types

The Vanden Meadows development proposes a wide variety of housing types with an emphasis on moderate density development. The City of Vacaville General Plan policies indicate that development in outlying areas construct a minimum of 25% moderate density housing to increase the City's existing moderate density which is currently at 20% +/- . The Vanden Meadows development proposes a total of 32.6 % +/- moderate density including a cluster/courtyard development and other small lot single family product. In addition to the moderate density, the Vanden Meadows development will provide 20.5 % +/- high density housing with the inclusion of an apartment site.

1.2 LEGAL CONTEXT

1.2.1 Authority to Prepare

A Specific Plan is a planning and regulatory tool made available to local governments by the State of California. By law, Specific Plans are intended to implement a city or county's General Plan through the development of policies, programs and regulations that provide an intermediate level of detail between the General Plan and individual development projects. As a

mechanism for the implementation of the goals and policies of a City's General Plan, State law stipulates that Specific Plans can only be adopted or amended if they are consistent with the jurisdiction's adopted General Plan.

The authority to prepare and adopt Specific Plans and the requirements for its content are set forth in the California Government Code 65450 through 65457. The law requires that a Specific Plan include text and diagrams that specify:

- The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.
- The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
- A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out the items listed above.

1.2.2 Relationship to the General Plan

The Vanden Meadows Specific Plan and the City's General Plan provide a framework to guide future land use and development decisions within the 260 +/- acre planning area. The Specific Plan is consistent with, and functions as an implementation tool of the General Plan in three ways:

- A) By acting as a statement of planning policy that refines the general plan policies applicable to a specific plan area;
- B) By directly regulating land use and;
- C) By bringing together detailed policies and regulations into a focused development program.

The City's General Plan Land Use Element, as updated, has two specific Implementing Policies (2.3-I 12 & 2.3-I 13) for the Vanden Meadows area. (The General Plan refers to this area as the South Vanden Area.) The

Implementing Policies are italicized as follows along with how the Vanden Meadows Specific Plan addresses each statement highlighted with bold font:

2.3-I 12: In the portion of the Vanden Specific Plan area south of Foxboro Parkway and west of Vanden Road, the minimum lot size shall be 10,000 square feet.

- **As required by this policy, the minimum lot size south of Foxboro Parkway is designated 10,000 SF.**

2.3-I 13: Require that the South Vanden Area, including the Southtown and Moody Project Areas, facilitate the development of a range of housing densities and opportunities, pedestrian and bicycle friendly design, neighborhood commercial sites, and recreational and neighborhood facilities, by including the following requirements:

- *A network of landscaped pedestrian/bike corridors that connect key elements of the area, such as the regional park and arterial streets.*

This is provided for in the Vanden Meadows Specific Plan.

- *New development adjacent to existing homes within the City limits shall match or exceed the size, character, and quality of adjacent homes and lots.*

This is provided for in the Vanden Meadows Specific Plan.

- *All new residential development shall conform with the Residential Design Requirements for New Single Family Development.*

This is provided for in the Vanden Meadows Specific Plan.

- *The Southtown project area will include a range of housing types and densities, attached, detached, and cluster housing.*

This is provided for in the Vanden Meadows Specific Plan.

- *Land shall be reserved for community uses such as private schools, membership organization, day care centers, and senior centers.*

Land has been reserved for 2 public schools a large neighborhood park and numerous trails.

- *A financing mechanism for all public facility improvements shall be established before development occurs.*

The Southtown Benefit District has been established for this area which ensures that each project will pay for its fair share of public facility improvements.

- *Nut Tree Road and Vanden Road shall be widened to the City standard width through the project sites for all projects that front on these streets.*

These street widenings will be done with the Vanden Meadows development. It should be noted that in response to concerns expressed by the Traffic Department, development of the Vanden Meadows area will result in a realignment of Vanden so that it does not intersect with the Foxboro Parkway/Leisure Town Road intersection. This realignment will significantly improve the Traffic Level of Service (LOS) at the Foxboro/Leisure Town Road/Vanden Road (south) intersection.

- *Leisure Town Road shall be widened and improved to the standards for the Jepson Parkway along the frontage of all projects that abut to Leisure Town Road.*

These street widenings will be done with the Vanden Meadows development.

- *Foxboro Parkway shall be extended between Nut Tree Road and Vanden Road. The extension will be completed prior to the reconstruction and reconfiguration of Vanden Road.*

This is a requirement of the Southtown Phase 3 project.

- *Different development projects within the South Vanden Area shall coordinate their respective roads, bike paths, landscape corridors and design standards to create a unified sense of place and identity.*

Roads, trails, landscape corridors are coordinated with the Southtown Project to provide continuity between the projects.

- *Commercial buildings shall be no more than an average of 30 feet in height, and be designed to front on the sidewalk, with parking at the rear of the property, when feasible, so as to enhance neighborhood aesthetics and to encourage pedestrian – friendly design.*

No commercial buildings are anticipated in the Vanden Meadows area.

- *Infrastructure master plans for sewer, water, storm drain, and traffic improvements shall be prepared prior to or in conjunction with the processing of subdivision maps for all development within the South Vanden areas, including the Southtown and Moody Project Areas.*

Master plans for sewer, water, storm drainage and traffic improvements were created for the South Vanden Area as part of the Southtown Project which included development of the Vanden Meadows area.

- *Prior to the approval of any subdivision applications, the developers shall assure that all required domestic water supply and distribution systems, wastewater collection and treatment facilities, storm water management facilities, and roadway segment and intersection improvements will be incorporated into the final project plans.*

The Vanden Meadows Project will incorporate the infrastructure as outlined in the master plans mentioned previously.

- *The lands to the south of the Southtown and the Moody Project Area will be subject to subsequent General Plan Amendments; Prezonings, and other prerequisites to annexation.*

As the Vanden Meadows Specific Plan proposals are in compliance with the policies in the City General Plan it is not anticipated that a General Plan Amendment will be required. Applications for development will include this Specific Plan, Prezoning, Pre-Tentative Maps, and Annexation.

1.2.3 Purpose and Intent

The Specific Plan provides both general guidelines and specific standards for the development of Vanden Meadows and sets the parameters for a variety of land uses; thus the purpose of the Specific Plan is to provide a set of plans, policies, regulation and implementation programs for guiding and ensuring orderly, future development in accordance with the adopted Land Use Plan within the General Plan.

1.2.4 Environmental Review

The adoption of a Specific Plan is a “project” under the California Environmental Quality Act (CEQA) and the CEQA Guidelines. To meet CEQA requirements, a Mitigated Negative Declaration will be prepared as part of the process in adopting this Specific Plan.

1.2.5 Development Agreement

It is anticipated that, as part of the project approval process, a Development Agreement (DA) will be entered into between project proponents and the City of Vacaville. The DA will address such issues as the Community Benefit Contribution (CBC) and the Planned Growth Ordinance (PGO); therefore, those issues will not be discussed within the Specific Plan.

1.3 PLANNING CONTEXT

1.3.1 Regional Context

The Specific Plan area is located in northern Solano County, in the southeastern corner of the City of Vacaville, as shown in the Vicinity Map in Figure 1.2. Vacaville is at the midpoint between San Francisco and Sacramento along Interstate 80, the major transportation link between these two growing urban areas as shown on the Regional Map Figure 1.1.

1.3.2 Site Context

1.3.2.1 Project Area Description

The Vanden Meadows area comprises 260 +/- acres and is bounded by Nut Tree Road on the west, the Southtown Project to the north, the railroad property to the east and the Vacaville/ Fairfield buffer to the south. (See Figure 1.2 Vicinity Map) The property comprises 5 land owners, (See Figure 1.3 Vanden Meadows Ownership Map). Presently, the subject properties are vacant and used mostly for dry farming (See Figure 1.4 Satellite Photo of the area).

1.3.2.2 Property Ownership

Property Owners within the Vanden Meadows Specific Plan Area (with Assessors’ Parcel Numbers (APN) and property acreage) are listed in Table 1.1.

Table 1.1 Parcels and Ownership

APN	Owner	Acres
0136-110-130	City of Vacaville	1.63
0136-110-140	Park Lane Apartments	44.40
0136-140-010	SID	0.12
0136-140-020	Thomas Montgomery	25.36
0136-140-090	Roy Hockett	75.11
0136-140-100	City of Vacaville	9.73
0136-140-110	City of Vacaville	5.65
0136-140-120	Belmont Homes	53.46
0136-140-130	Travis Unified School District	28.41
0136-140-140	Evon Papin	11.46

See Figure 1.3 for a graphical depiction of the parcels noted above.

2.0 VISION AND GOALS

2.1 PROJECT VISION

The Vanden Meadows Project proposes to tie into the theme and character developed with the Southtown Project. Southtown was developed with a central park as its focal point with trails and landscaping corridors radiating out from that central core. Vanden Meadows continues that theme with numerous trails that tie into the Southtown Trail system while also tying into the Vanden Meadows Park and school(s) (See Figure 2.1 Vanden Meadows Conceptual Development Plan).

Vanden Meadows would also provide for either a K-8 school or both an elementary school and a middle school campus. This school(s) would be adjacent to a proposed City park, creating a second major focal point in the Southtown/ Vanden Meadows area. Much like Southtown, with trails radiating out from the central core, Vanden Meadows will also have trails radiating out from the school(s)/park to tie into the rest of the community.

Vanden Meadows provides for a diverse residential project with densities ranging from low density to high density with individual unique neighborhoods interconnected into a sustainable planned community. Policies and statements in the City of Vacaville General Plan indicate a strong desire to have more moderate density housing (5.1-14 units/acre) in the outlying areas. To that end, Vanden Meadows proposes that 32.6 % +/- of the residential units will be moderate density housing. This moderate density housing would comprise a medium density cluster/courtyard style area and an area of low medium density small lot single family residential. These residential products fit within the moderate density category as specified in the General Plan. While focusing on providing a greater percentage of moderate density housing, the overall density still complies with the General Plan designation for this area. The proposed overall density is 4.6 +/- units per acre, which is in compliance with the designation for this area of 3.1 - 5.0 units per acre.



VANDEN MEADOWS
 VACAVILLE, CALIFORNIA

FIGURE 2.1. CONCEPTUAL DEVELOPMENT PLAN

FIGURE 2.1
 Vanden Meadows Conceptual Development Plan

2.1.1 Significant Public Benefits

There are numerous Public Benefits that will occur with the development of the Vanden Meadows area. These benefits are as follows:

2.1.1.1 Schools

The Travis Unified School District has acquired a 30 +/- acre site in the Vanden Meadows area and identified it as the future site of 1 or possibly 2 schools. The School District is currently conducting studies to determine if they will build a middle school and an elementary school or one K-8 school. The School District master plan calls for this school to be built in 3-5 years (approximately 2012 – 2014), depending on the rate of buildout of the Southtown Project and the Vanden Meadows Project

2.1.1.2 Foxboro Parkway

The Foxboro Parkway connection from Nut Tree Road to Vanden Road has been identified by the City of Vacaville as a key arterial which will provide an enhanced connection to Leisure Town Road and Vanden Road (the future Jepson Parkway) from the Foxboro development area. Construction of the middle two lanes is a requirement of the Southtown Project when Vanden Road is closed for construction of the new Community Park. Annexation and development along the future alignment of Foxboro Parkway will allow for completion of this vital 4 lane connection.

2.1.1.3 Improvements to Leisure Town Road (Jepson Parkway)

Recently the Solano Transportation Authority (STA) adopted the Jepson Parkway Plan Line which comprises Leisure Town Road and Vanden Road South of Leisure Town Road. With development of the Vanden Meadows area frontage roadway and landscaping improvements will be constructed along this key corridor serving Fairfield and Vacaville.

2.1.1.4 City Park

Development of the Vanden Meadows area will result in the construction of a new 6+ (net) 7.38 (gross) acre park adjacent to the proposed school site. This park size exceeds the City standard for neighborhood parks in that 1.8 acres of neighborhood park per 1,000 residents is required which

would result in only 5.0 acres of park instead of the proposed 6+ acres. The Travis Unified School District has indicated that they would like to have a joint use agreement between the District and the City regarding this park to increase its usability and functionality.

2.1.1.5 Trails

In addition to the new park, a series of trails will be constructed throughout the development which will provide a pedestrian friendly connection with the park, the school(s) and with the Southtown trail system. The Vanden Meadows project will be constructing approximately 4 miles of trails and when combined with the Southtown trails, represents a total of 10.6 miles of interconnected trails. These trails along with the park and landscaping comprise 30.38 acres of dedicated open space and recreational area.

2.1.1.6 Variety of Housing Types

The Vanden Meadows development proposes a wide variety of housing types with an emphasis on moderate density development. The City of Vacaville General Plan policies indicate that development in outlying areas construct a minimum of 25% moderate density housing to increase the City's existing moderate density which is currently at 20% +/- . The Vanden Meadows development proposes a total of 32.6 % +/- moderate density including a cluster development and other small lot single family product. In addition to the moderate density the Vanden Meadows development will provide 20.5 % +/- high density housing with the inclusion of an apartment site.

2.1.2 Recreation

With the construction of the park and trail system, Vanden Meadows will provide unique opportunities for walking, running and biking. Play areas will be much larger than traditional parks because the park area will be combined with the school(s) play areas to provide an expansive recreational area.

2.1.3 Housing

As mentioned previously, the vision of the Vanden Meadows development is to provide a variety of housing with a stronger emphasis on moderate housing.

2.1.4 Superior Quality

The Vanden Meadows vision is a superior quality community focused on school(s), parks, and trails tying into the superior quality of the Southtown development.

2.1.5 Connectivity

The Vanden Meadows layout will provide excellent pedestrian and biking connectivity to the Southtown Park, Cannon Station Park, and the new Vanden Meadows Park. In addition, the completion of Foxboro Parkway will improve access to Leisure Town Road (Future Jepson Parkway) and Vanden Road, which will significantly improve access to Interstate 80 and Travis Air Force Base from the Southeast Vacaville.

2.1.6 Civic and Public Benefits

The Civic and public benefits have been enumerated in several other locations within this Specific Plan. Succinctly, the civic and public benefits include the school(s)/park, Foxboro Parkway, improvements to Leisure Town Road (Jepson Parkway), and numerous trails.

2.1.7 History

There is little in the way of development history regarding this area. However, preparations for development of the Vanden Meadows area have been in the making since 2004, which is when the EIR was prepared for the Southtown Project. Within that EIR, much of the anticipated impacts from the Vanden Meadows development were examined. Also in 2004, the property was included in the near term annexation area (3-5 years) within the City of Vacaville Comprehensive Annexation Plan (CAP). This year, 2009, is at the end of this anticipated timeline.

In 2008 the City of Vacaville established the Southeast Vanden Benefit District which included this area. The Benefit District established the fair

share of costs attributable to Vanden Meadows for the infrastructure installed for the Southtown Project which was sized to accommodate the Vanden Meadows Development.

2.1.8 Environment and Sustainability

The Vanden Meadows Development proposes a park and trail system which will enhance recreational opportunities for the residents of the area while also enhancing the open space feel and visual amenities.

2.2 LAND USE CONCEPTS

The land use concept for the 260 +/- acre Vanden Meadows development is a mix of residential uses complemented by the proximity to school(s), park and trails. The Vanden Meadows Specific Plan includes the following Land Use Goals:

- 1. Goal: Provide for a quality project by use of high standards for design of the homes, landscaping, streetscape, and public amenities.***
- 2. Goal: Include a variety of housing types, including an emphasis on moderate density housing (particularly small lot single family residential) that is in compliance with the goals and policies of the Vacaville General Plan. The overall density has been established at 4.6+/- units/ acre. This 4.6 +/- units/acre density is in compliance with the General Plan range designated for the area of 3.1 – 5.0 units/ acre. Further, Vanden Meadows will provide for a minimum of 20% +/- high density residential to augment the 32.6 % +/- moderate density residential.***
- 3. Goal: Provide a comprehensive system of trails, park and back up landscaping which will comprise a total of 30 +/- acres.***

2.3 HOUSING GOALS

Incorporated in the Vanden Meadows design are numerous design principles that foster community “place-making”, and therefore the Housing Goals of the Vanden Meadows Development are:

- 1. Goal: Create walkable neighborhoods with interconnected streets and trails that encourage pedestrian activity.**
- 2. Goal: Construct a neighborhood park which connects to the trails and is adjacent to the school(s).**
- 3. Goal: Construct a neighborhood school(s) serving 2000 students.**
- 4. Goal: Provide a high variety of house plan types and exterior configurations with various options and styles.**

2.4 OPEN SPACE GOALS

Goal: Plan a system of street and trail connections that link key elements (school(s), park, and trails) with the key elements of the Southtown Project (Community center/park, fire station, and trails).

2.5 OTHER GOALS

The Vanden Meadows Specific Plan goals for land use and design, circulation, resource management, public utilities and services can be found in their respective chapters:

Chapter 3 – Land Use

Chapter 4 – Transportation and Circulation

Chapter 5 – Recreation, Open Space and Resource Management

Chapter 6 – Community Design

Chapter 7 – Public Facilities

Chapter 8 – Community Services and Facilities

3.0 LAND USE

3.1 INTRODUCTION

The Vanden Meadows Specific Plan establishes a comprehensively planned community that is designed to work with the Southtown project to the north. The Land Use component of the Specific Plan is primarily residential with the non-residential uses comprising the school(s) and park.

3.2 LAND USE GOAL

Goal: To establish an attractive community that provides a variety of residential and recreational opportunities.

3.3 THE DEVELOPMENT PLAN

Vanden Meadows is a planned community that is designed to integrate residential opportunities, with school(s), park, trails, and the Southtown and Foxboro Community Facilities.

3.4 PLANNING SUBAREAS

The Vanden Meadows area is divided into 13 Subareas (See Figures 3.1 and 3.2). Each subarea has a different land use designation. Table 3.1 details each of the subareas.

Subareas A, B, C, D, and E are owned by the Hockett group. This property is located between Nut Tree Road and Vanden Road with the Travis Unified School District (TUSD) property comprising a portion of its northern boundary and the Montgomery property, SID canal, and Fairfield-Vacaville buffer comprising its southern boundary.

Subarea F is owned by Evon Papin and the property is bounded by Southtown to the north, the TUSD property to the west, Vanden Road to the east and the Hockett property to the south.

Subareas G, H, and I are owned by Belmont Homes and Park Lane Apartments (collectively referred to as Zocchi Property) and are bounded by Southtown to the north, Vanden Road to the west and Leisure Town Road (Jepson Parkway) to the east and south.

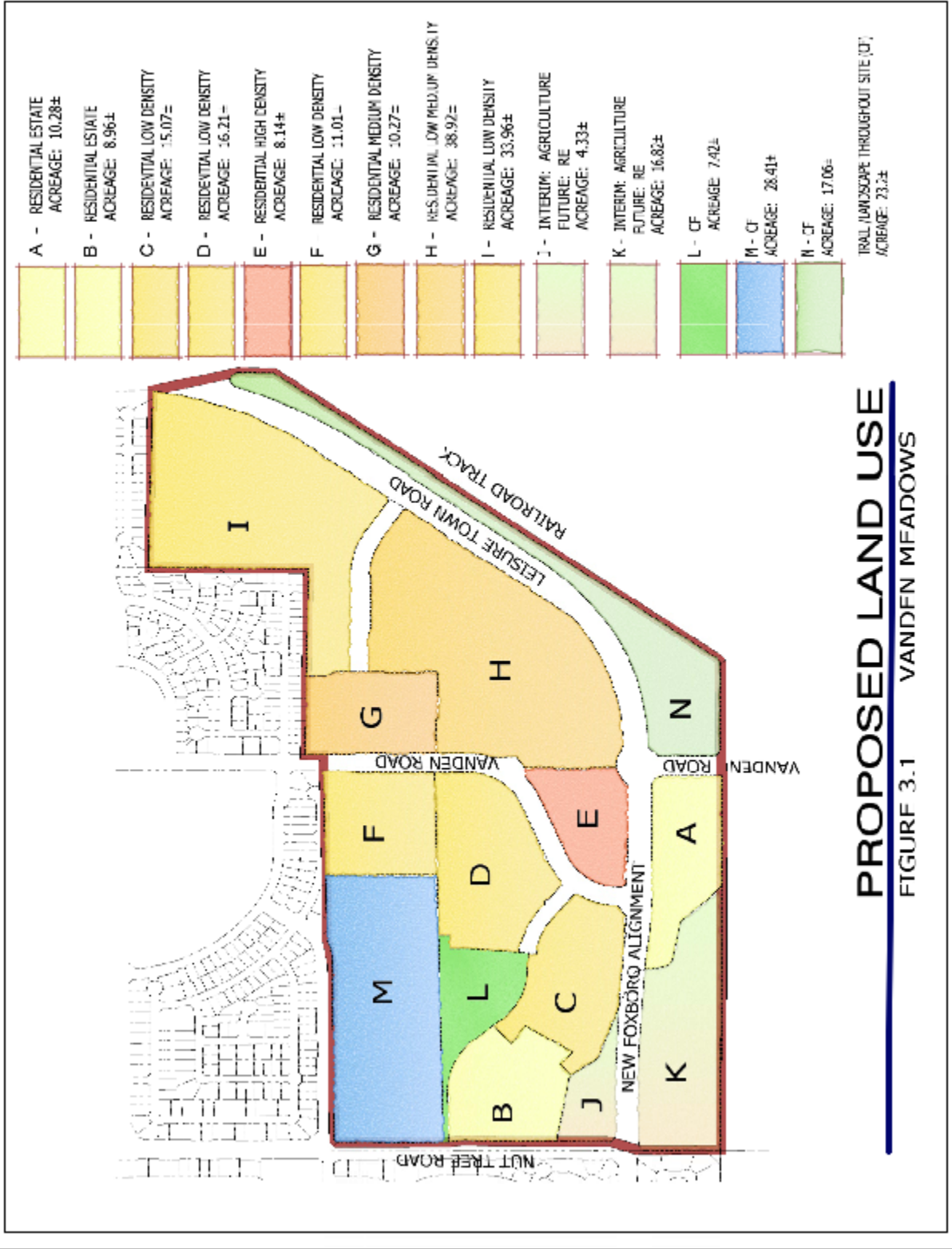
Subareas J and K are owned by the Montgomery group and is bounded by the Fairfield-Vacaville buffer to the south, Nut Tree Road to the west, and the Hockett property to the north and east.

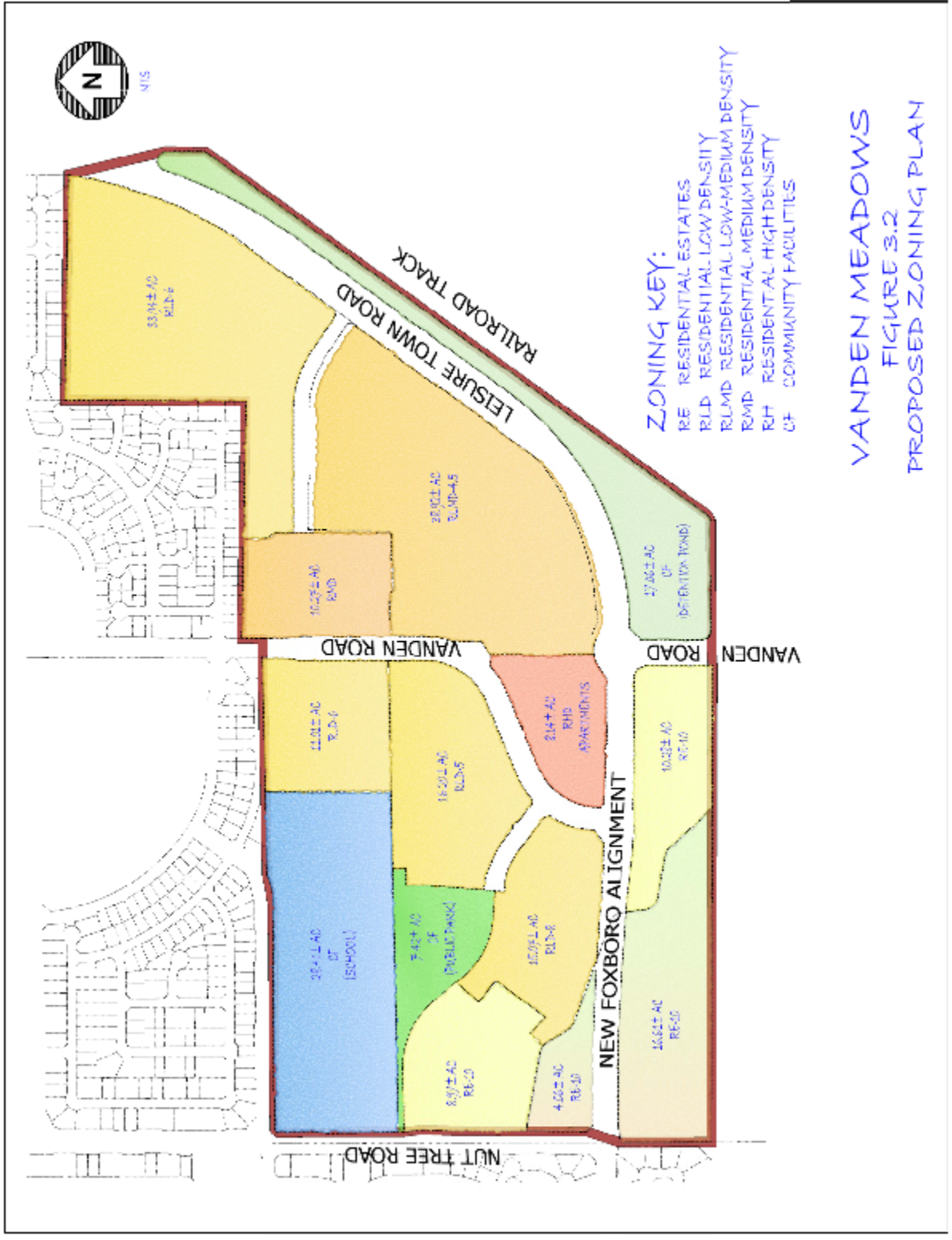
Subarea L is designated as a future park and is currently owned by the Hockett group. Subarea M is owned by the Travis Unified School District and is designated for future school(s). Subarea N is currently owned by various entities and is designated as trails, landscaping and agricultural buffer. Lastly, Subarea O is designated as Detention Basin (Community Facility).

TABLE 3.1 – VANDEN MEADOWS LAND USE SUMMARY
(Refer to Figures 3.1 and 3.2 for Location of Areas)

Sub Area	Land Use	Proposed Zoning	Approximate Area (Acres)	Residential Units	Density (Units/Acre)	Non Residential Uses
A	RE	RE-10	10.28	26	2.53	
B	RE	RE-10	9.78	25	2.56	
C	RLD	RLD-6	14.50	52	3.59	
D	RLD	RLD-5	16.19	74	4.57	
E	RHD	RH	8.17	192	23.50	
F	RLD	RLD-6	11.01	50	4.54	
G	RMD	RMD	10.27	97	9.44	
H	RLMD	RLMD-4.5	38.92	209	5.37	
I	RLD	RLD-6	33.96	157	4.62	
J	RE	RE-10	4.33	11	2.54	
K	RE	RE-10	16.82	46	2.73	
L	CF	CF	7.42			PARK
M	CF	CF	28.41			SCHOOL
N	CF	CF	31.31			TRAILS & LANDSCAPING (including AG Buffer)
O	CF	CF	17.01			DETENTION BASIN
TOTAL			258.38	939	4.56*	

* - Total Land Use Density Excludes the School Property (28.41 Ac), the Ag Buffer (6.93 Ac), and the Detention Basin (17.01 Ac).





VANDEN MEADOWS
 FIGURE 3.2
 PROPOSED ZONING PLAN

3.5 RESIDENTIAL ELEMENT GOALS

The Vanden Meadows Specific Plan Residential Element Goals are as follows:

- 1. Goal: Create a unique residential environment that complements and ties into the Southtown Project.**
- 2. Goal: Encourage a range of housing types with an emphasis on single family moderate density development while addressing the policies and goals in the City of Vacaville General Plan.**
- 3. Goal: Ensure that each neighborhood has direct access to the interconnected trail system.**

The policies in the Vacaville General Plan discuss the desire to increase the amount of moderate density housing within the City. Specifically those policies require that new outlying areas of the City have a minimum of 25% moderate density residential. Moderate Density, per the General plan, comprises the Land Uses of: Residential Low-Medium Density and Residential Medium Density. The proposed residential breakdown for the Vanden Meadows development is listed in Table 3.2.

TABLE 3.2 - VANDEN MEADOWS RESIDENTIAL LAND USE SUMMARY

	Land Use	Approximate Area (Acres)	Residential Units	Percentages	Total Percentages
LOW DENSITY	RE	41.21	108	11.50%	46.96%
	RLD	75.66	333	35.46%	
MODERATE DENSITY	RLMD	38.92	209	22.26%	32.59%
	RMD	10.27	97	10.33%	
HIGH DENSITY	RHD	8.17	192	20.45%	20.45%
TOTALS		181.07*	939	100.0%	100.0%

*- Acreage excludes public facilities, detention basin, school(s), and agricultural buffer.

3.5.1 Site Uses

Vanden Meadows is a residential development and as such, the Permitted Uses, Conditional Uses and Prohibited Uses will be identical to those listed in the City of Vacaville Land Use and Development code (latest edition) for the various residential zone districts.

3.5.2 Density Standards

Density ranges for the various residential zone districts shall comply with the City of Vacaville Land Use and Development Code with the exception of the land use Residential Estates, which may have a minimum density of 2.5 units per acre.

Floor area ratios shall comply with the City of Vacaville Land Use and Development Code except as noted in Table 3.3.

TABLE 3.3 – EXCEPTIONS TO MAXIMUM COVERAGE

Zoning District	Density	Maximum Coverage
RLD	3.1-5.0	0.45
RLMD	5.1-8.0	0.50
RMD	8.1-14.0	0.50

3.5.3 Building Standards

The standards for building height and front, rear and side yard setbacks shall comply with the City of Vacaville Land Use and Development Code except as noted in Table 3.4.

TABLE 3.4 –EXCEPTIONS TO BUILDING STANDARDS

Zoning District	Density	Minimum Front Yard to Habitable Space	Minimum Side Yard	Minimum Rear Yard	Minimum Distance Between Structures
RLD	3.1-5.0	15'***	5' & 10'*	15'	15'
RLMD	5.1-8.0	15'***	5' & 5'	15'	10'
RMD	8.1-14.0	10'***	5' & 5'	10'	10'

*- Footnote 5 of the Land Use and Development Code does not apply.

** - On corner lots the minimum setback from the angled corner shall be 10'.

3.5.4 Parking Standards

Parking shall be provided in accordance with City of Vacaville Land Use and Development Code, Chapter 14.09.128.

3.5.5 Other Development Standards

For Development Standards not specifically mentioned in this Specific Plan, refer to Chapter 14.09 Zoning in the City of Vacaville Land Use and Development Code.

3.5.6 Design Criteria

Individual dwelling units shall be of high quality and subject to review and approval by the Planning Commission.

4.0 TRANSPORTATION AND CIRCULATION

4.1 INTRODUCTION

Goal: Provide a circulation system which maintains and improves access and connectivity between and within Vanden Meadows and Southtown.

4.2 EXISTING SETTING

Vanden Meadows is bounded by Leisure Town Road on the east, Nut Tree Road on the west, the Southtown Development to the north and the Vacaville-Fairfield buffer to the south.

The existing roadways and the proposed vehicular circulation system through the Specific Plan area are shown on Figures 4.1 and 4.2 and include the following:

4.2.1 Leisure Town Road (future Jepson Parkway)

Currently Leisure Town Road is a two lane rural road bordering the eastern portion of the area. Future plans call for this road to be redesignated as Jepson Parkway and will be a four lane arterial with large landscaped frontages. The developers of Vanden Meadows will be responsible for construction of the fronting curb, gutter, sidewalk, 20 feet of pavement and the landscaping per the Jepson Parkway plan line as recently approved by the Solano Transportation Authority (STA). See Figure 4.2 for the location and Figure 4.2.1 Leisure Town Road (Jepson Parkway) for the details of the proposed street section.

4.2.2 Nut Tree Road

Nut Tree Road borders the Vanden Meadows development on the west. Currently the road is two lanes but is designated to be a four lane arterial with buildout of the area. The western portion of Nut Tree Road was completed with the Foxboro development and the developers of the Vanden Meadows area will be responsible for completing the required final improvements (including the landscaping and trails) to Nut Tree Road. See

Figure 4.2 for the location and Figure 4.2.2 Nut Tree Road for the details of the proposed street section.

4.2.3 Foxboro Parkway

Currently, Foxboro Parkway is a four lane arterial within the Foxboro development that terminates at Nut Tree Road. The City of Vacaville General Plan requires that this four lane parkway be continued from Nut Tree Road to the intersection of Leisure Town Road at Vanden Road. This connection will greatly improve circulation in the southeast Vanden area and will provide connectivity to Travis Air Force Base to the south as well as Interstate 80 to the north for those residents within the Foxboro development. Completion of the parkway improvements (including trails and landscaping) is the joint obligation of the Southtown developers and the Vanden Meadows developers. See Figure 4.2 for the location and Figure 4.2.3 Foxboro Parkway for the details of the proposed street section.

4.2.4 Vanden Road

Currently Vanden Road is a two lane rural road which will be improved to collector standards with a landscaped median for that portion of the road north of Leisure Town Road. In order to improve traffic flow for the future Jepson Parkway, Vanden Road will be realigned to intersect Foxboro Parkway west of the Foxboro/Leisure Town Road (Jepson Parkway) intersection. This portion of the Vanden Road, including landscaping and trails, will be completed with development of Vanden Meadows. Vanden Road south of Leisure Town Road will be designated Jepson Parkway and the Vanden Meadows development will be responsible for completing the frontage improvements (curb, gutter, sidewalk, some pavement and landscaping). The balance of improvements will be completed through traffic impact fees and STA grants. See Figure 4.2 for the location and Figure 4.2.4 Vanden Road for the details of the proposed street section.

4.2.5 Major and Minor Collector Streets with Trail

Within the Vanden Meadows development there are two street sections that are designated “Major Collector Streets” and two street sections that are designated “Minor Collector Streets”.

Major Collector Streets are collectors (40 feet wide) with trails on both sides of the street and with no residential units fronting on the street. See Figure 4.2 for the location and Figure 4.2.5 Major Collector Street for the details of the proposed street section.

Minor Collector Streets are collectors (40 feet wide) with trails on one side of the street and some residential units fronting on the street. See Figure 4.2 for the location and Figure 4.2.6 Minor Collector Streets for details of the proposed street section.

4.2.6 Residential Streets

All other streets not mentioned above will be designated as residential streets. These streets will comply with the City of Vacaville standards for residential streets. See Figure 4.2 for the location and Figure 4.2.7 Residential Street for details of the proposed street section.

4.3 CONNECTIONS

Completion of the street network within the Vanden Meadows area will provide a significant improvement in vehicular circulation throughout the southeast portion of Vacaville. The Foxboro Parkway connection will provide ease of movement from Southeast Vacaville to Travis Air Force Base and to Interstate 80. In addition, this connection will provide for a direct connection to Peabody Road from the southeast Vacaville area.

The completion of Jepson Parkway as envisioned by the STA will provide enhanced connections between Suisun City, Fairfield, Vacaville and Dixon.

4.4 VEHICULAR STREET NETWORK

The following are implementing policies to ensure completion of the Vehicular Street Network as envisioned by this Specific Plan.

4.4-P-1 The density of the residential development shall not generate traffic volumes that exceed the capacity (LOS D) of the Foxboro Parkway, Vanden Road, and Jepson Parkway Intersections.

4.4-P-2 *The LOS throughout the remainder of the Vanden Meadows area shall comply with the City's Traffic Mitigation Policy of not exceeding LOS C.*

4.4-P-3 *The City will require the Master Developer to enter into a Development Agreement to provide the necessary roadway improvements to serve the development and mitigate related traffic impacts.*

4.4-P-4 *Specific Plan developers shall fund circulation improvements necessitated by the Specific Plan development through various funding mechanisms (i.e. assessment districts, traffic impact fees, private funding, etc.).*

4.4-P-5 *The public road rights-of-way and street improvements shall comply with City of Vacaville standards and said rights-of-way will be dedicated to the City of Vacaville as public streets as shown in the following Figures:*

4.2.1 Section 1 - Leisure Town Road (Jepson Parkway)

4.2.2 Section 2 - Nut Tree Road

4.2.3 Section 3 - Foxboro Parkway

4.2.4 Section 4A & 4B - Vanden Road

4.2.5 Section 5 - Major Collector Street

4.2.6 Section 6 - Minor Collector Street

4.2.7 Section 7 - Residential Street

4.5 NON-VEHICULAR CIRCULATION NETWORK

Goal: Develop a comprehensive bikeway/ pedestrian system that connect the park, school(s), and Southtown development, and promote the use of alternatives to driving.

4.5-P-1 *Construct the trail/bike system as shown in Figure 4.3 Non-Vehicular Circulation Diagram.*

4.5-P-2 Construct a vehicular parking facility on Leisure Town Road to allow for those outside the Vanden Meadows area to utilize the trail/bike system.

4.6 TRANSIT

Goal: Promote increased local transit ridership and provide Specific Plan area residents with the opportunity to use public transportation as an alternative to driving.

Transit service in Vacaville is provided by Vacaville City Coach through a fixed route and dial-a-ride services. City Coach services are coordinated with other area transit services for weekday peak hour commute service along Interstates 80 and 680 corridors. This includes services from the Fairfield/Suisun Transit and Vallejo Transit systems with routes that connect to BART stations in Pleasant Hill and El Cerrito.

The following are implementing policies to meet the stated goal:

4.6-P-1 Currently, Route 8 travels through the Foxboro area along Youngsdale Drive to Nut Tree Road and then heads north. The City may wish to consider extending Route 8 farther south into the Vanden Meadows area.

4.6-P-2 If the City desires to expand Route 8 (or any other route for that matter) into Vanden Meadows the developers of Vanden Meadows shall install bus turnouts and transit stops in location(s) designated by the City.

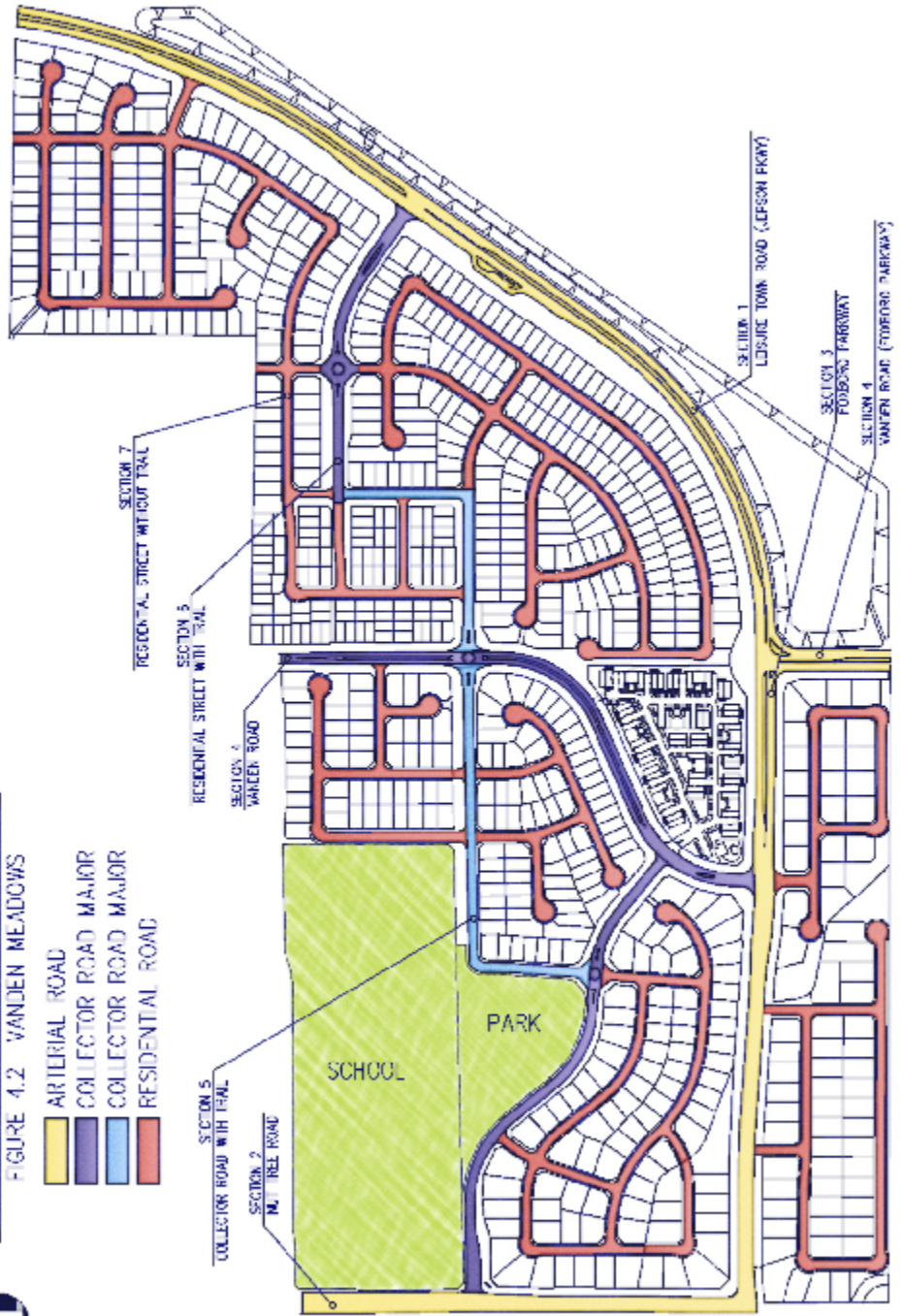


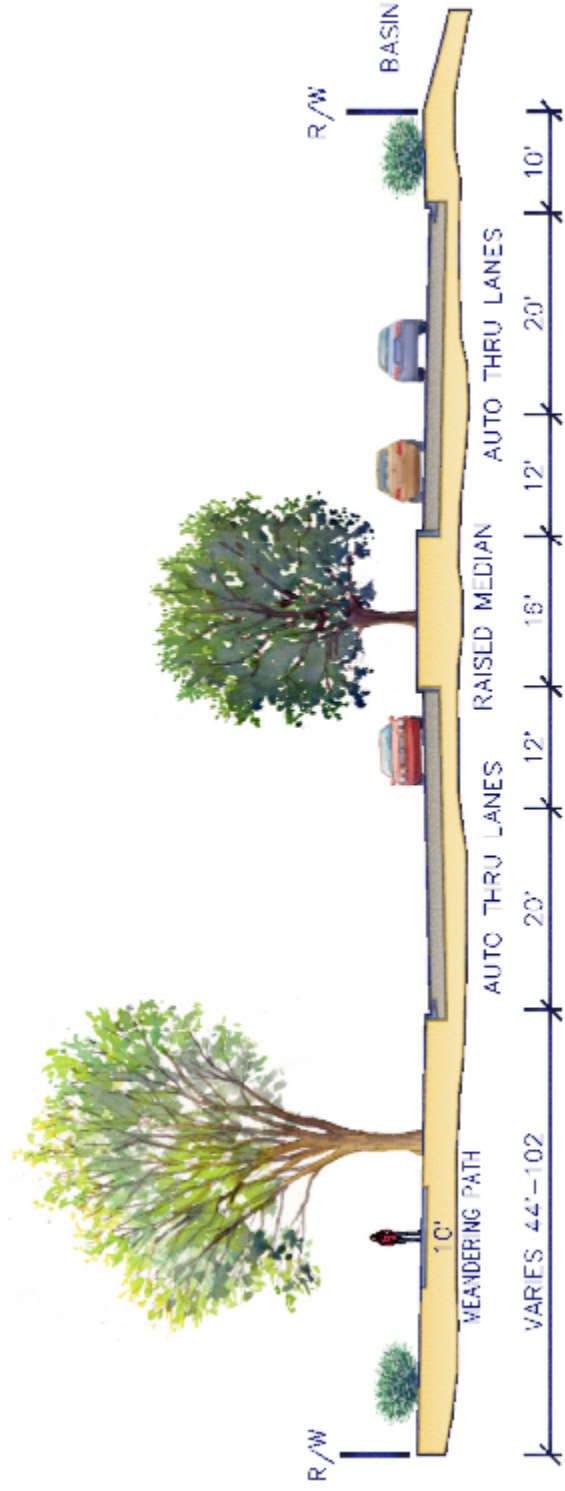


STREET NETWORK KEY PLAN

FIGURE 4.2 VANDEN MEADOWS

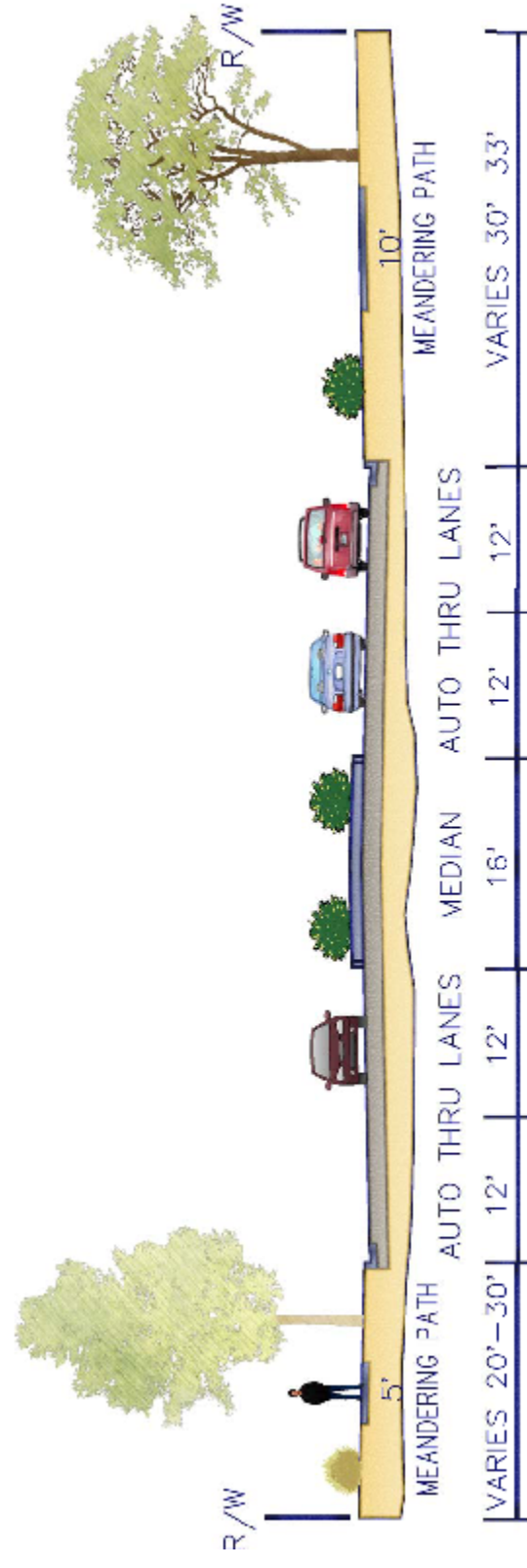
-  ARTERIAL ROAD
-  COLLECTOR ROAD MAJOR
-  COLLECTOR ROAD MAJOR
-  RESIDENTIAL ROAD





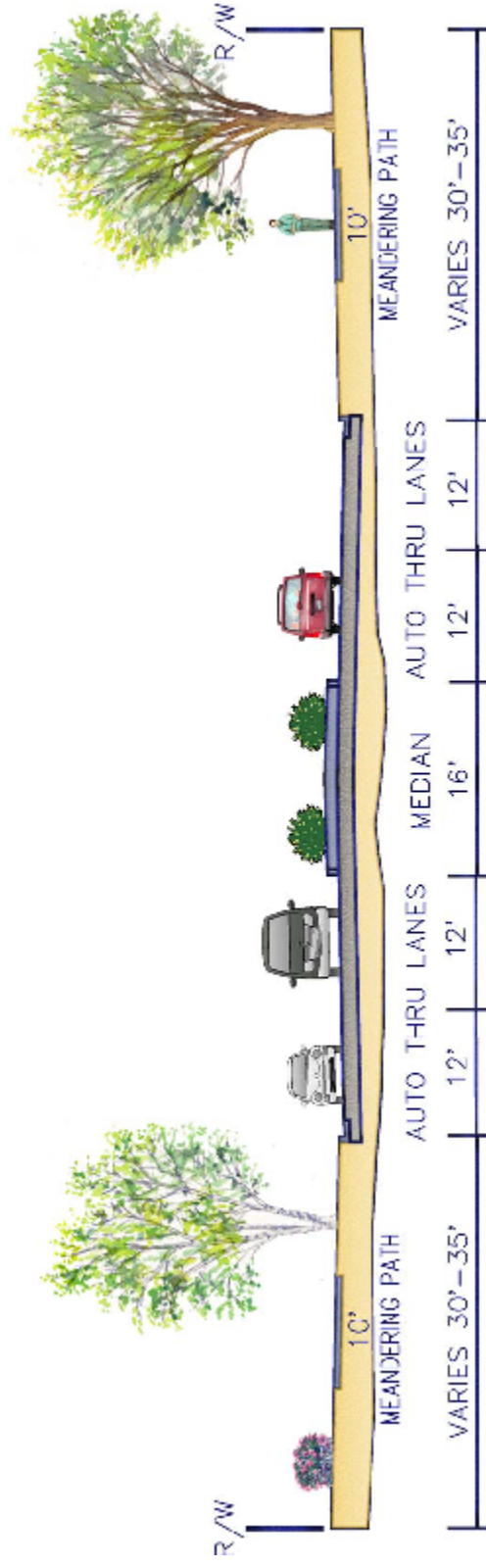
SECTION 1 - LEISURE TOWN ROAD (JEPSON PARKWAY)

FIGURE 4.2.1 VANDEN MEADOWS



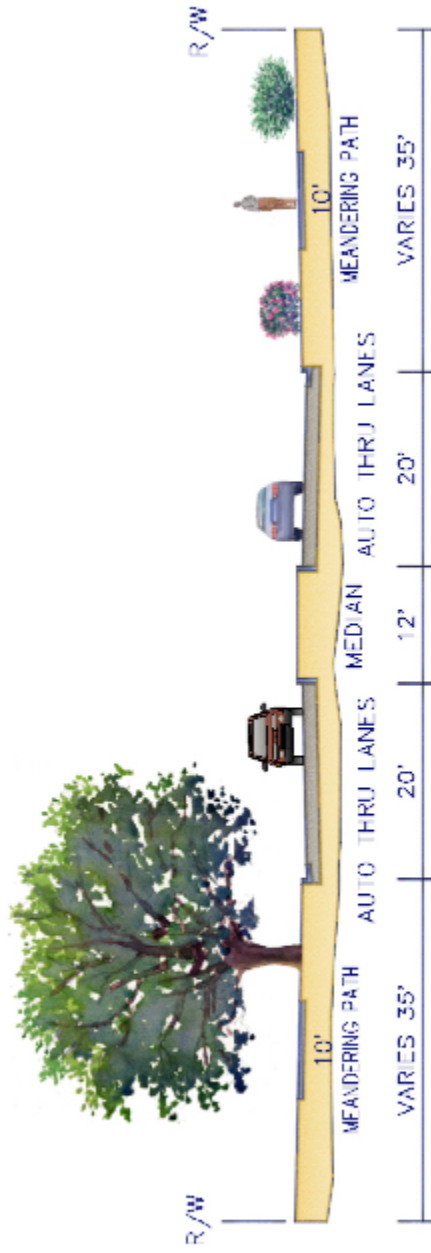
SECTION 2 - NUT TREE ROAD

FIGURE 4.2.2 VANDEN MEADOWS

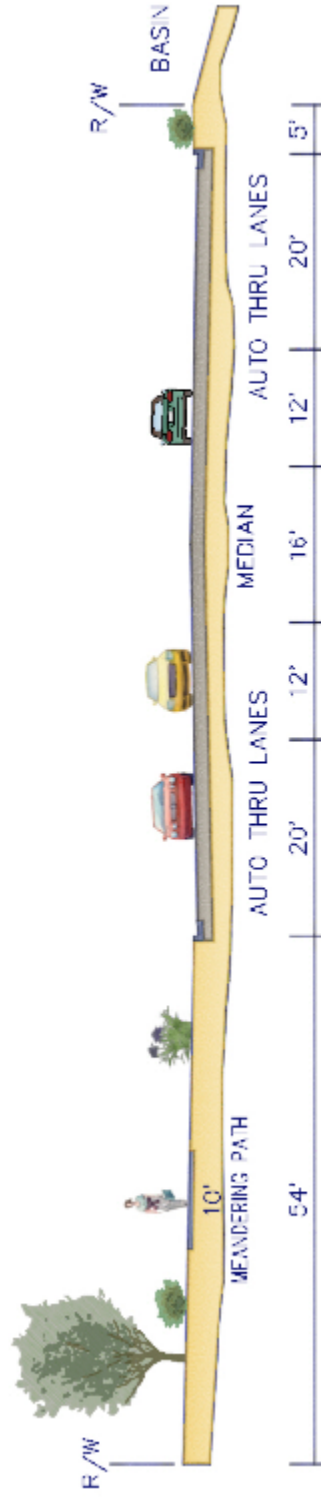


SECTION 3 - FOXBORO PARKWAY

FIGURE 4.2.3 VANDEN MEADOWS

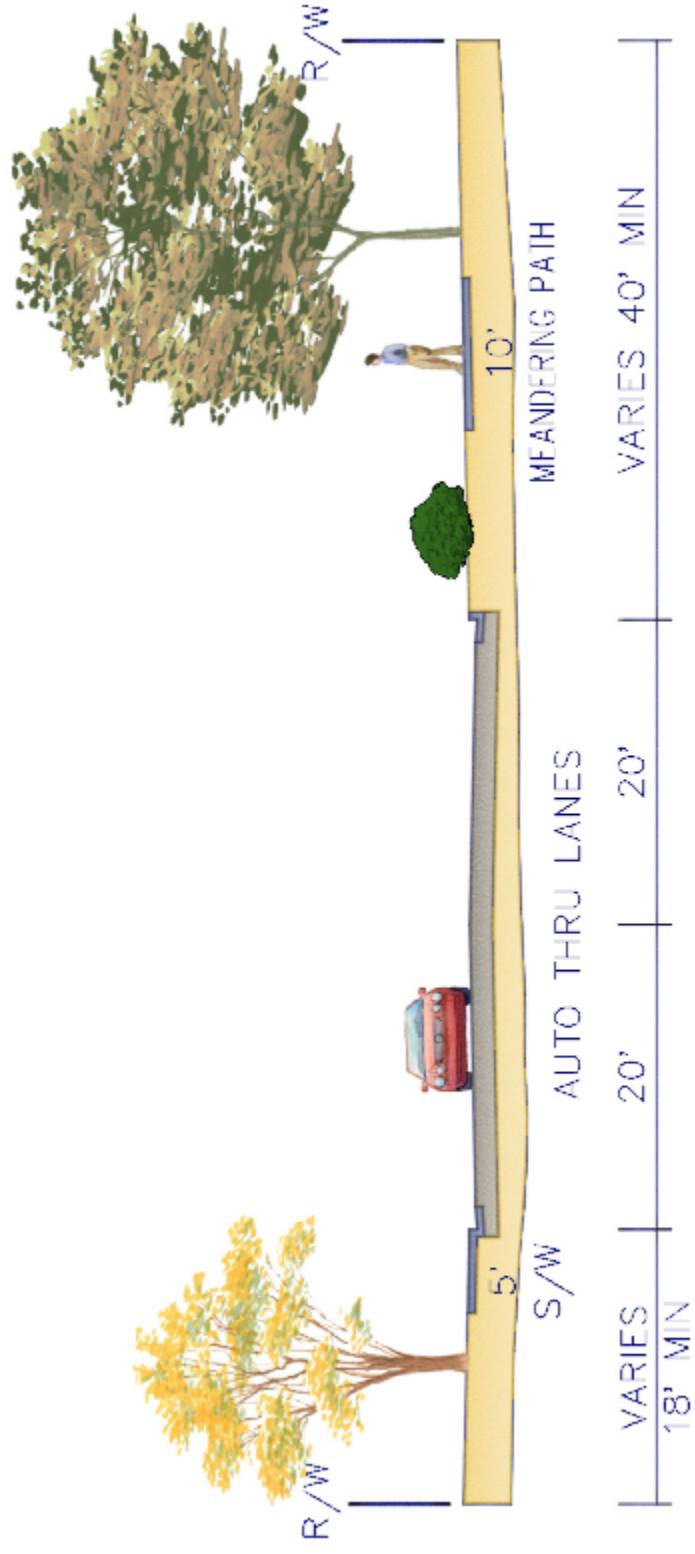


SECTION 4A - VANDEN ROAD

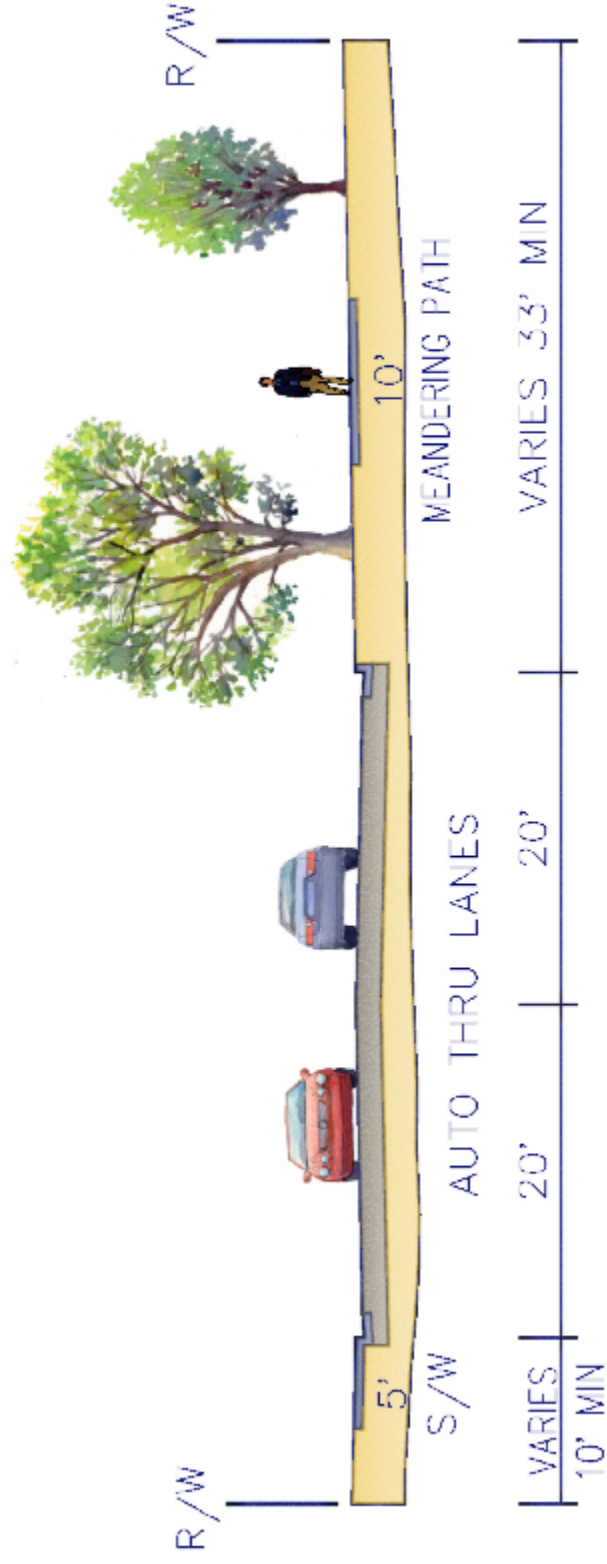


SECTION 4B - VANDEN ROAD (JEPSON PARKWAY)

FIGURE 4.2.4 VANDEN MEADOWS

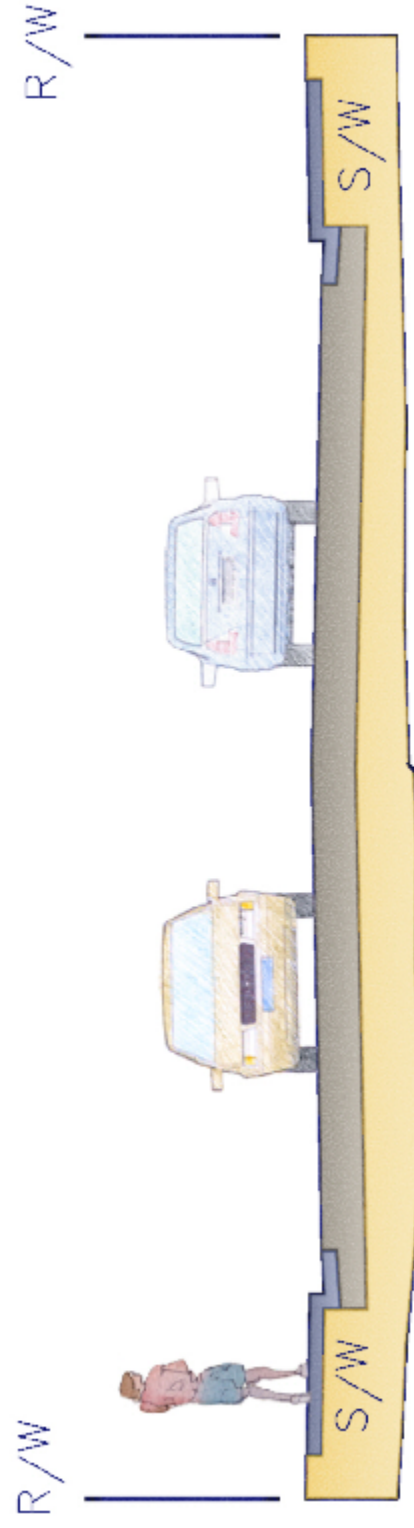


SECTION 5 - MAJOR COLLECTOR
FIGURE 4.2.5 VANDEN MEADOWS



SECTION 6 - MINOR COLLECTOR

FIGURE 4.2.6 VANDEN MEADOWS



AUTO THRU LANES



SECTION 7 - RESIDENTIAL STREET

FIGURE 4.2.7 VANDEN MEADOWS



NON-VEHICULAR CIRCULATION SYSTEM

FIGURE 4.3 VANDEN MEADOWS

-  MULT USE TRAIL MAJOR
-  MULT USE TRAIL MINOR
-  ROADWAY WITH DESIGNATED BIKE LANE



5.0 RECREATION, OPEN SPACE AND RESOURCE MANAGEMENT

5.1 INTRODUCTION

- 1. Goal: To protect and enhance existing biological resources.***
- 2. Goal: To provide a development that is compatible with the Agricultural uses to the east.***

Currently a biological assessment is underway which will ascertain the existing biological resources, if any. Specific mitigations will be proposed if any endangered species or wetland features are impacted by the Vanden Meadows development.

The Vanden Meadows Specific Plan calls for a 500 foot buffer between the proposed residential and the existing agricultural uses east of the railroad track. This 500 foot buffer results in a large landscaped area on the west side of Leisure Town Road. With this buffer in place agricultural uses will not be impacted by the proposed project.

5.1-P-1 The area within the 500 foot buffer, west of the existing Leisure Town Road right of way, will be dedicated to the City of Vacaville as backup landscaping for Leisure Town Road with maintenance paid for by the residents of Vanden Meadows through the use of a Lighting and Landscape District (LLD).

5.2 PUBLIC OPEN SPACE AND RECREATION

As mentioned in Section 2; development of the Vanden Meadows area will result in the construction of a new 6+ acre park adjacent to the proposed school site. The Travis Unified School District has indicated that they would like to have a joint use agreement between the District and the City regarding this park to increase its usability and functionality. In addition to the new park, a series of trails will be constructed throughout the development which will connect with the park, the school(s) and with the Southtown trail system. The Vanden Meadows project will be constructing approximately 4 miles of trails and when combined with the Southtown

trails represent a total of 10.6 miles of interconnected trails. In addition, these trails along with the park and landscaping comprise 30.38 acres within the Vanden Meadows area of dedicated open space and recreational area.

5.2.1-P-1 The park, trails, and backup landscaping will be designed to enhance the Vanden Meadows development area. High quality material will be used along with drought tolerate plants in conformance with the City of Vacaville landscape ordinance. The park, trails and back-up landscaping will be dedicated to the City of Vacaville as public amenities with maintenance paid for by the residents of Vanden Meadows through the use of a LLD.

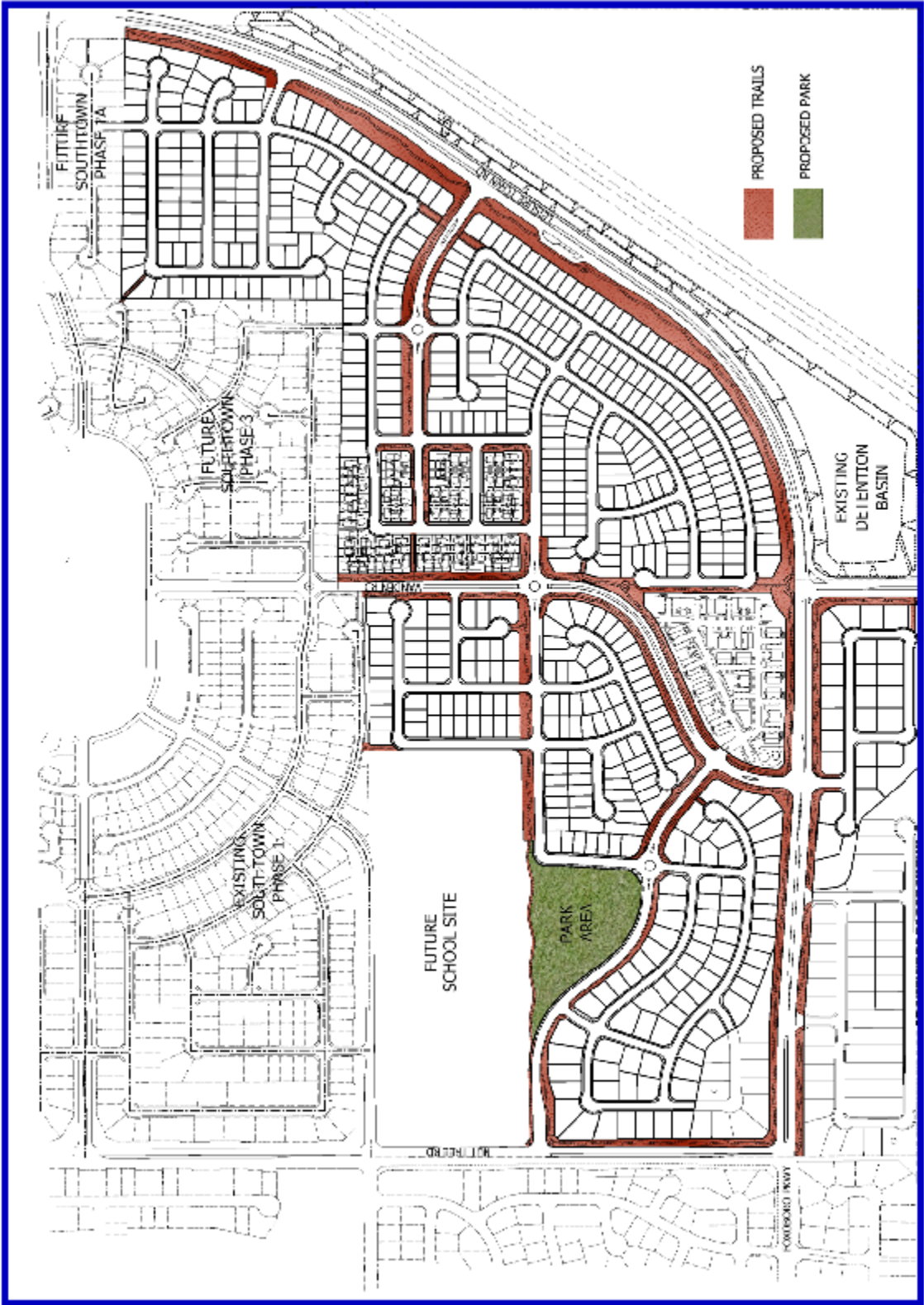
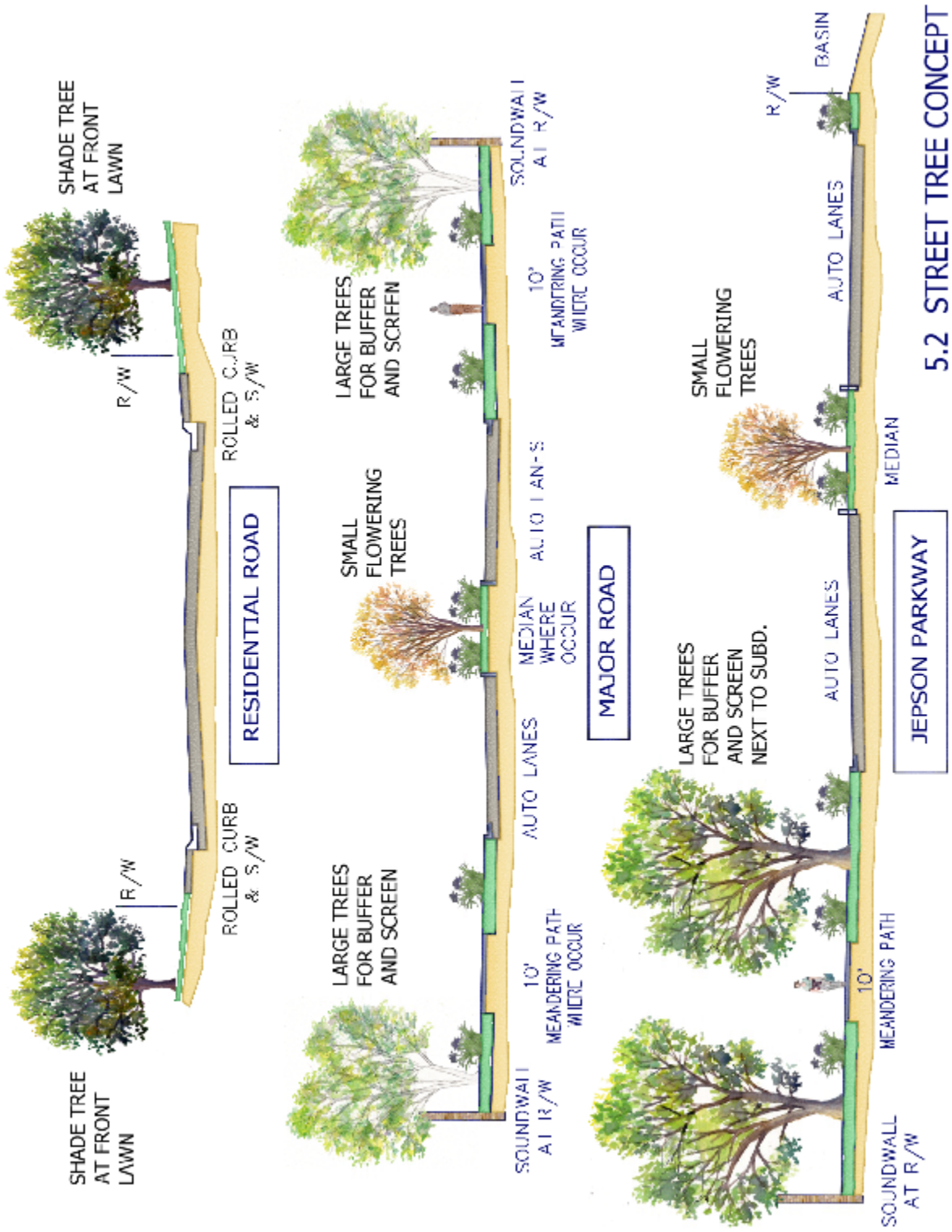


FIG. 5.1 PARK AND TRAIL DIAGRAM



5.2 STREET TREE CONCEPT

6.0 COMMUNITY DESIGN

6.1 INTRODUCTION

Goal: Create and ensure a successful walkable community which interconnects with the Southtown project to the north.

6.2 PURPOSE AND INTENT

6.2-P-1 Create an attractive residential setting that compliments surrounding residential development to the north and west and the agricultural uses to the east and south.

6.2-P-2 Create a suitable buffer between the Vanden Meadows development and the agricultural uses to the east.

6.2-P-3 Provide design guidelines to ensure that Vanden Meadows is an attractive setting for Vacaville residents.

6.3 COMMUNITY DESIGN THEME:

“LIVABLE NEIGHBORHOODS”

The intent of the Vanden Meadows development is to create neighborhoods that families can afford. To that end the development encourages a variety of housing types including small single family homes on small lots.

6.3-P-1 House design and materials are intended to be of high quality while recognizing the need to keep homes affordable. The choice of materials, colors and detailing shall be thoughtfully integrated into the design.

6.3-P-2 Neighborhoods should be created with similar design themes and elements to create strong neighborhood identities.

6.4 BUILDING FORM

The houses should be designed creating a sense of variety. This can be accomplished by utilizing both one and two story elements on the same building and by varying roof plans. In general the community's architecture should create a pedestrian friendly street experience, create neighborhood identity and recognize the need for more affordable living.

6.4-P-1 There should be a wide range of product types incorporated into the various neighborhoods.

6.4-P-2 Garage doors should not become the dominant element of the front elevation. Relief should be achieved by recessing doors and by varying the garage orientation (recessed, swing-in, side street access, etc.).

6.5 STREETScape CHARACTER

Streets will be planted with approved street trees and enhanced streetscape landscaping as defined in subsequent submittals. Streetscapes should reflect the identity of the roadway system. Taller more imposing trees and widened (20-35') landscape strips should define the arterials and major collectors. Medium-sized trees and smaller (5-20') landscape strips should articulate the minor collectors. In general street trees should be used consistently on residential streets to establish attractive neighborhoods.

6.6 ENTRY FEATURES

Entry features should be located at five key locations on the exterior of the Vanden Meadows development area (in each case the developer closest to the designated feature will be responsible for its construction). Refer to Figure 6.1 Community Entry Features Locations:

1. On the west side of Leisure Town Road (facing south bound traffic) at the northern edge of the development area.
2. On the west side of Vanden Road (facing south bound traffic) at the northern edge of the development area.

3. On the east side of Nut Tree Road (facing south bound traffic) at the northern edge of the development area.
4. On the west side of Vanden Road (facing north bound traffic) at the southern edge of the development area.
5. On the south side of Foxboro Parkway (facing east bound traffic) at the western edge of the development area.

6.6-P-1 The developers of the Vanden Meadows project will design and install entry features at the locations designated above. The design will include high quality elements that comply with the City of Vacaville Gateway ordinance. The design for the first entry feature will be used for subsequent features.

6.7 NEIGHBORHOOD SCHOOL

The Travis Unified School District has acquired a 30 +/- acre site in the Vanden Meadows area and has identified it as the future site of 1 or possibly 2 schools. The District is currently conducting studies to determine if they will build a middle school and an elementary school or one K-8 school. The District Master Plan calls for this school(s) to be built in 3-5 years (approximately 2012-2014) depending on the rate of buildout of the Southtown Project and the Vanden Meadows Project.

The school(s) will need City of Vacaville water and sewer services to develop the project which will require annexation into the City of Vacaville. The existing Opal Way has been designed and constructed with the expectation that it would serve as an access for one of the school sites. Further, the City of Vacaville is planning to install a traffic signal at the intersection of Opal Way and Nut Tree Road to provide traffic control once the school is in operation.

The Travis Unified School District, with input from the City of Vacaville and the developers of the Vanden Meadows project, will design and construct a school that is in keeping with the character of the Vanden Meadows development area to serve the needs of the residents of the Southeast Vanden area.

7.0 PUBLIC FACILITIES

7.1 INTRODUCTION

This section of the Specific Plan provides both general and specific guidelines for the development of future infrastructure facilities necessary to serve the Vanden Meadows development area. The infrastructure facilities covered in this section include water distribution (potable and non-potable), sanitary sewer collection, storm drainage and detention, gas, electric, telephone, and cable TV.

This section's specific purpose is to:

1. Ensure that the project incorporates adequate water and sewer facilities to meet the needs of the Vanden Meadows area.
2. Use non-potable water in Vanden Meadows to reduce demand for potable water.
3. Utilize the Southtown detention basin to mitigate for increased run-off due to development.
4. Present preliminary sizes of utility components. Final pipe sizes will be based on computer modeling funded by the developers and will be subject to the approval by the Director of Public Works prior to design approval. On-site piping and utility facilities shall be sized to accommodate only the development in the Specific Plan area.
5. Identify off-site improvements which are necessary to serve the project.

Goal: Ensure that project design incorporates adequate infrastructure facilities to meet the needs of the Vanden Meadows residents.

Goal: To the extent reasonably feasible, use non-potable water and water conservation practices in the Vanden Meadows area to reduce demand for potable water.

7.2 WATER SUPPLY

Goal: Provide an adequate and reliable source of potable and non potable water for the Vanden Meadows Specific Plan area.

7.2.1 Potable Water Supply

Figure 7.1.1 shows the Water Master Plan with existing and proposed water line sizes. In general, Leisure Town Road will have an 18" water main with 12" water mains in all arterials and collectors. In addition, 12" water mains will be adjacent to and through higher density areas to ensure adequate fire flow. All other streets will contain an 8" water line with domestic services and fire hydrants as required to serve the development.

7.2-P-1 Each developer will be responsible for construction of their portion of the water lines shown on the Water Master Plan. Each developer will be required to demonstrate that the proposed phasing of water line installation will provide for adequate redundancy (looping) and flow to the satisfaction of the Director of Public Works.

7.2-P-2 Developers will comply with the City of Vacaville water conservation ordinance (such as low-flow shower heads and toilets) in the construction of the homes.

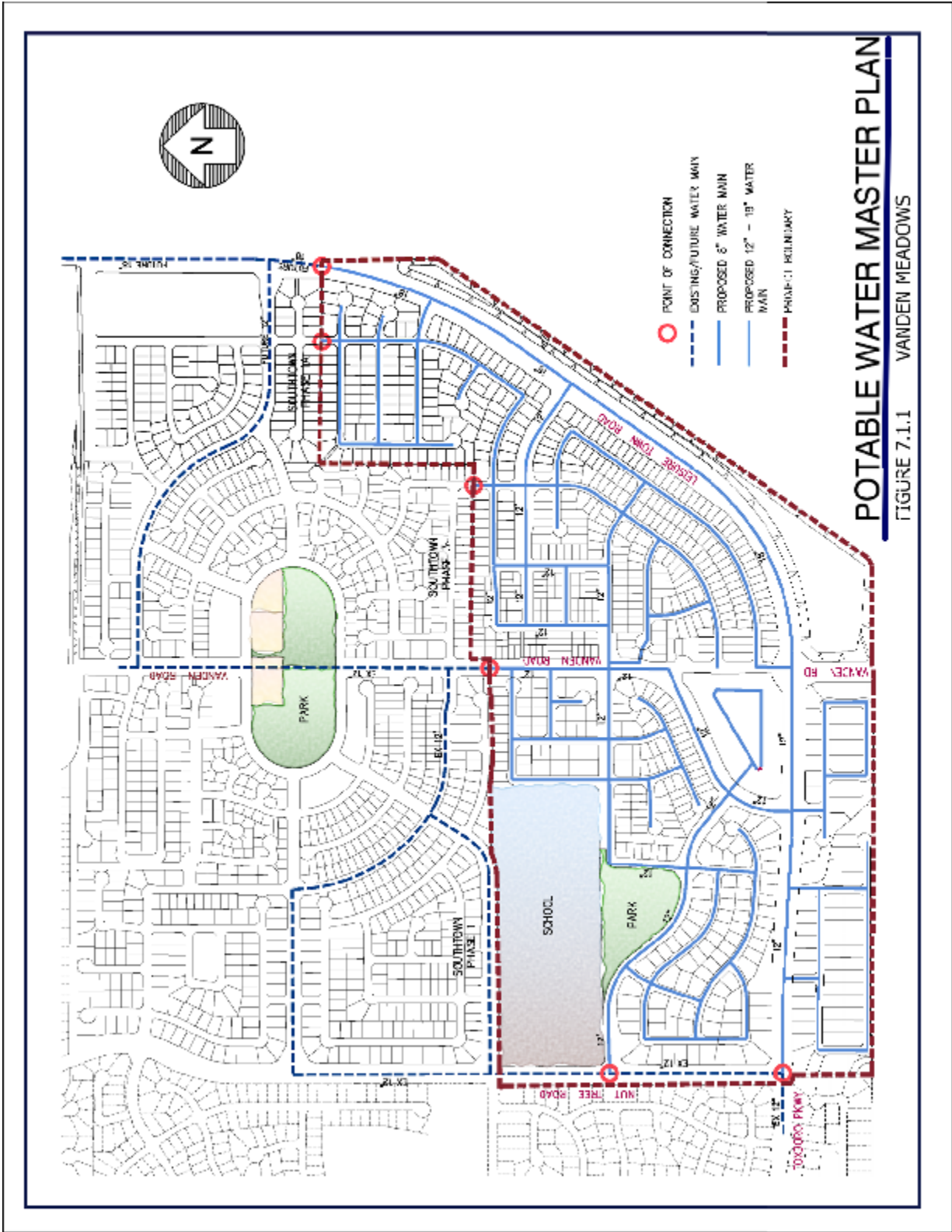
7.2-P-3 Developers will use low-flow irrigation systems and drought resistant plant materials to the reasonable extent feasible.

DIF 88 – The 18" water main in Leisure Town Road has been identified as a capitol improvement project (DIF 88) within the City of Vacaville Development Impact Fee Ordinance and is subject to partial reimbursement to the developer who installs any portion of this line as outlined within said ordinance.

7.2.2 Non Potable Water Supply

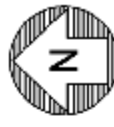
Figure 7.1.2 shows the Non Potable Water Master Plan with existing and proposed water line sizes. In general, 8" water mains are to be located in all arterials and within Vanden Road creating a non-potable looped system

with the South Vanden non-potable system. 6"-8" lines are to be located internally as necessary to serve their respective developments.



POTABLE WATER MASTER PLAN

FIGURE 7.1.1 VANDEN MEADOWS



- POINT OF CONNECTION
- - - EXISTING/FUTURE WATER MAIN
- PROPOSED 6" WATER MAIN
- PROPOSED 12" - 18" WATER MAIN
- - - PHASE I BOUNDARY

7.3 SEWER

Goal: Provide an adequate and reliable wastewater collection system for the Vanden Meadows Specific Plan area.

Figure 7.2.1 shows the Sewer Master Plan with existing and proposed line sizes. In general, all streets will have a minimum of an 8" line. Within a small number of streets, 10" lines are shown.

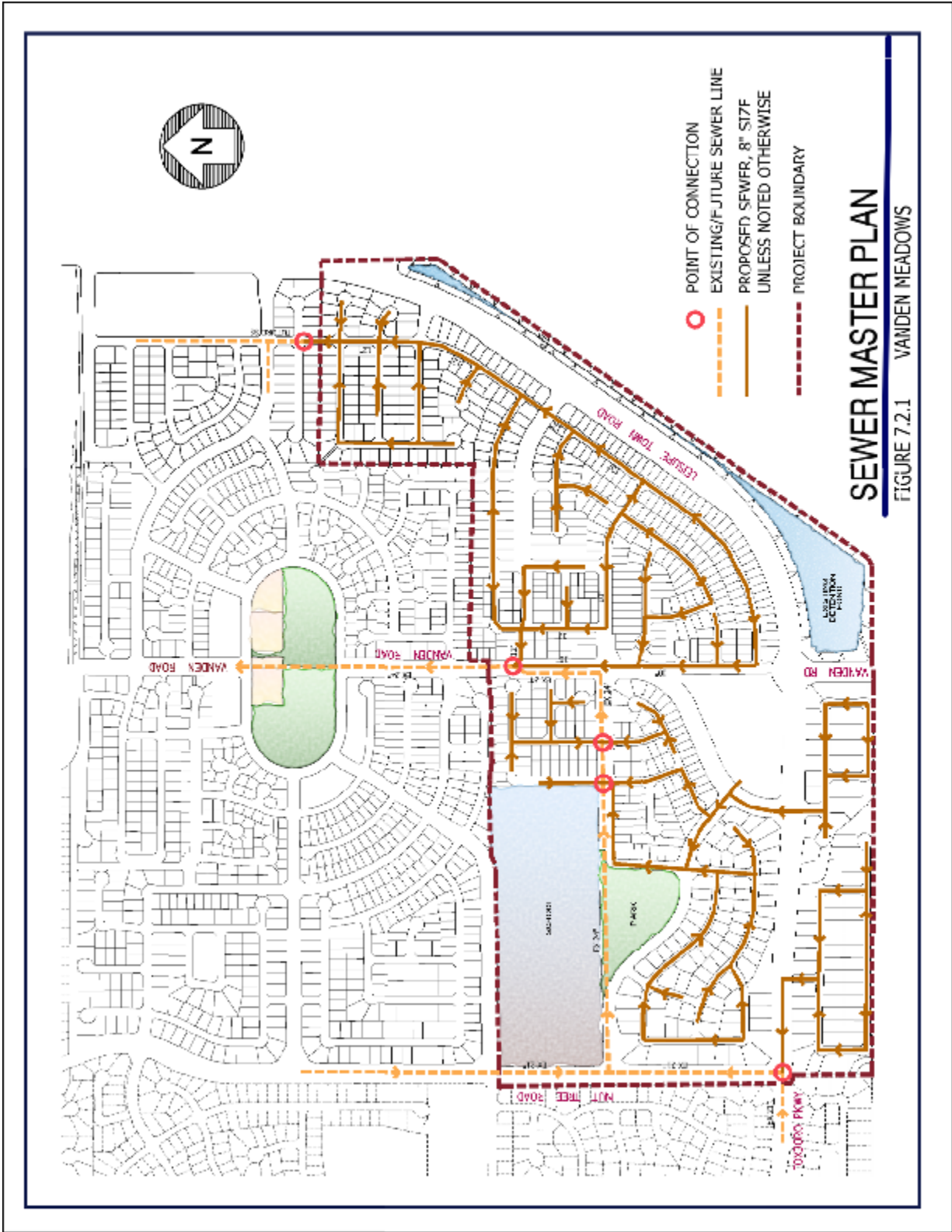
7.2-P-1 Each developer will be responsible for construction of their portion of the sewer lines shown on the Sewer Master Plan. Each developer will be required to demonstrate that the proposed phasing of sewer line installation will provide for adequate collection and conveyance of wastewater to the satisfaction of the Director of Public Works.

In addition to the on-site sewer improvements which will be required to service the Vanden Meadows development, three off-site sewer improvements were identified in the report prepared by West Yost Associates titled: *Southtown Area Sewer Plan Evaluation and CSPA Trunk Sewer Service Area Master Plan*. These improvements and the timing for when the improvements are required are described as follows (See Figure 7.2.2 Off-Site Sewer Improvements for details):

Upgrade 1: Triggered by issuance of the 770th building permit within the Southeast Vanden area (which includes both Southtown and Vanden Meadows). The upgrade requires the replacement of approximately 8,200 lineal feet of existing 27"SS with 36"SS. West Yost Associates (WYA) estimated the cost at \$7.45 million. Depending on timing for buildout of Southtown and Vanden Meadows, these improvements could be triggered by Southtown before Vanden Meadows acquires any building permits. These improvements are included in DIF 54A and as such the developer that records a subdivision final map creating the 770th unit and constructs these improvements will be eligible for fee credits related to this work.

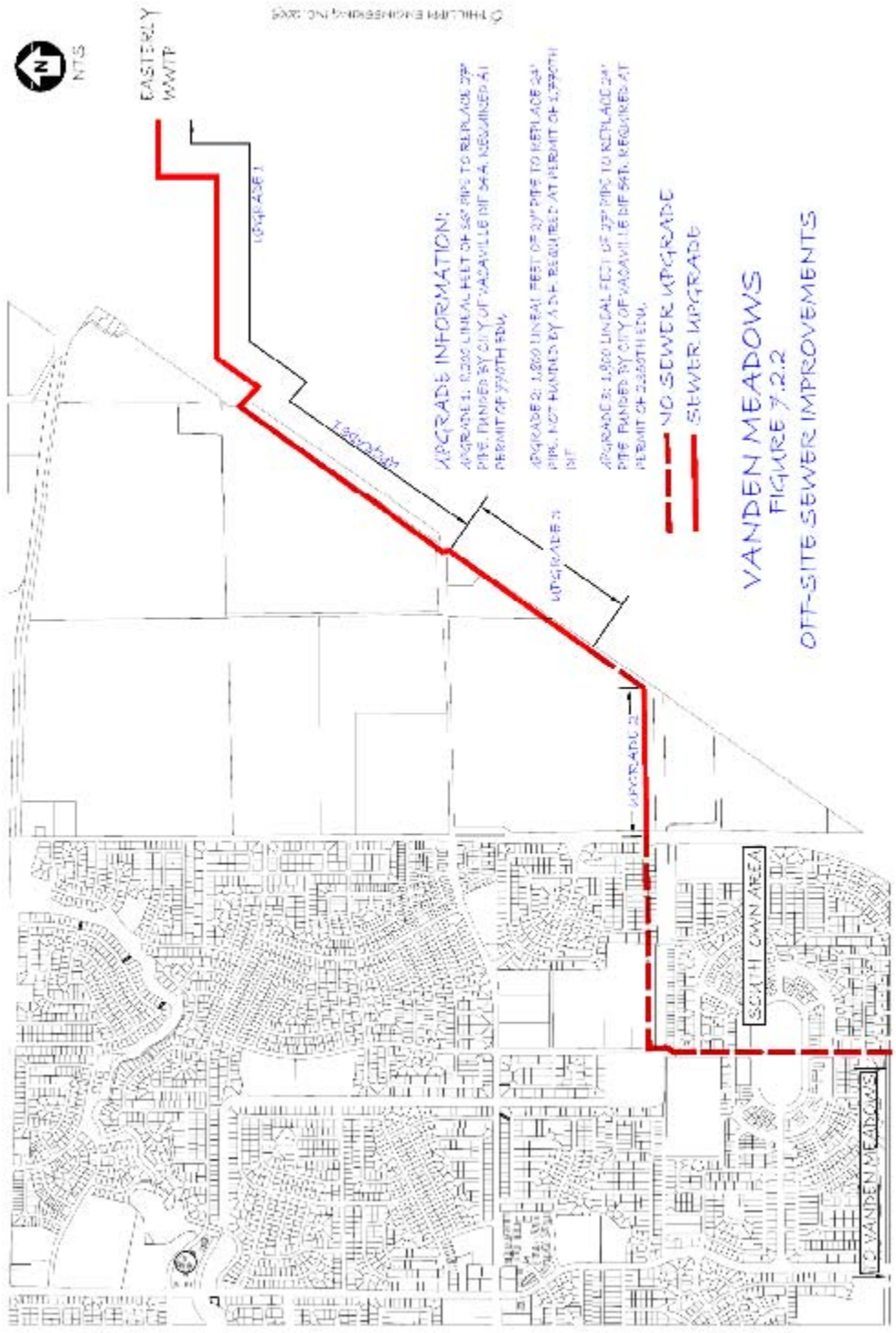
Upgrade 2: This upgrade is triggered by issuance of the 1,700th building permit within the Southeast Vanden area. The work involves replacing approximately 1,800 lineal feet of existing 24"SS with 27"SS. WYA estimated the cost at \$1.44 million. This work will very likely to be triggered by permits for Vanden Meadows. Since these improvements are not listed in the City of Vacaville DIF program the developer that installs these improvements will receive a credit for their fees related to the Southeast Vanden Benefit District.

Upgrade 3: This upgrade is triggered by issuance of 2,350th building permit in the Southeast Vanden area. The work involves replacing approximately 1,200 lineal feet of existing 27"SS with 30"SS. WYA estimates the cost at \$1.62 million. This work will very likely to be triggered by permits for Vanden Meadows. And like Upgrade 1, these improvements are included in DIF 54B and as such the developer that pulls the 2350th permit and constructs these improvements will be eligible for fee credits related to this work.



SEWER MASTER PLAN

FIGURE 7.2.1 VANDEN MEADOWS



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EASTERLY
WWT/P

UPGRADE 1

Laguna

UPGRADE INFORMATION:

UPGRADE 1: 0.200 LINEAL FEET OF 36" PIPES TO REPLACE 24" PIPE FINISHED BY CITY OF VACAVILLE (IF 36" ASSUMED AT PERMIT OF 3/30/04 EDU).

UPGRADE 2: 1.600 LINEAL FEET OF 24" PIPE TO REPLACE 24" PIPE. NOT FINISHED BY A/S/F. REQUIRED AT PERMIT OF 3/30/04 EDU.

UPGRADE 3: 1.600 LINEAL FEET OF 24" PIPE TO REPLACE 24" PIPE FINISHED BY CITY OF VACAVILLE (IF 36" ASSUMED AT PERMIT OF 3/30/04 EDU).

--- NO SEWER UPGRADE
— SEWER UPGRADE

VANDEN MEADOWS
FIGURE 7.2.2

OFF-SITE SEWER IMPROVEMENTS

SOUTH DAWN AREA

VANDEN MEADOWS

7.4 STORM DRAINAGE

Goal: Provide an adequate, efficient and environmentally compatible storm drainage system for the Vanden Meadows Specific Plan area.

7.4.1 Existing Setting

In 2005, WYA produced a report titled *Southeast Vanden Area Major Drainage Facilities Master Plan* as part of the Southtown Project. In that report they identified major facilities that were required with the Southtown Project and with ultimate development of the Southeast Vanden area.

With the development of the Southtown Project, the Southtown Phase 1 and Phase 1A Required Improvements were installed to service the entire Southeast Vanden area. Included in these backbone improvements were the 17 Acre +/- detention basin, twin 72" and twin 60" pipes in Vanden Road and Opal Way to collect and convey the water from the Foxboro area as well as on-site. Figure 7.3 - Storm Drain Master Plan, details the existing and proposed improvements to complete the Storm Drainage improvements in the area. Developers in the Vanden Meadows area will be required to reimburse the Southtown developers for their fair share of storm drainage infrastructure improvements per the Southeast Vanden Benefit District.

7.4.2 Completion of Storm Drainage Improvements

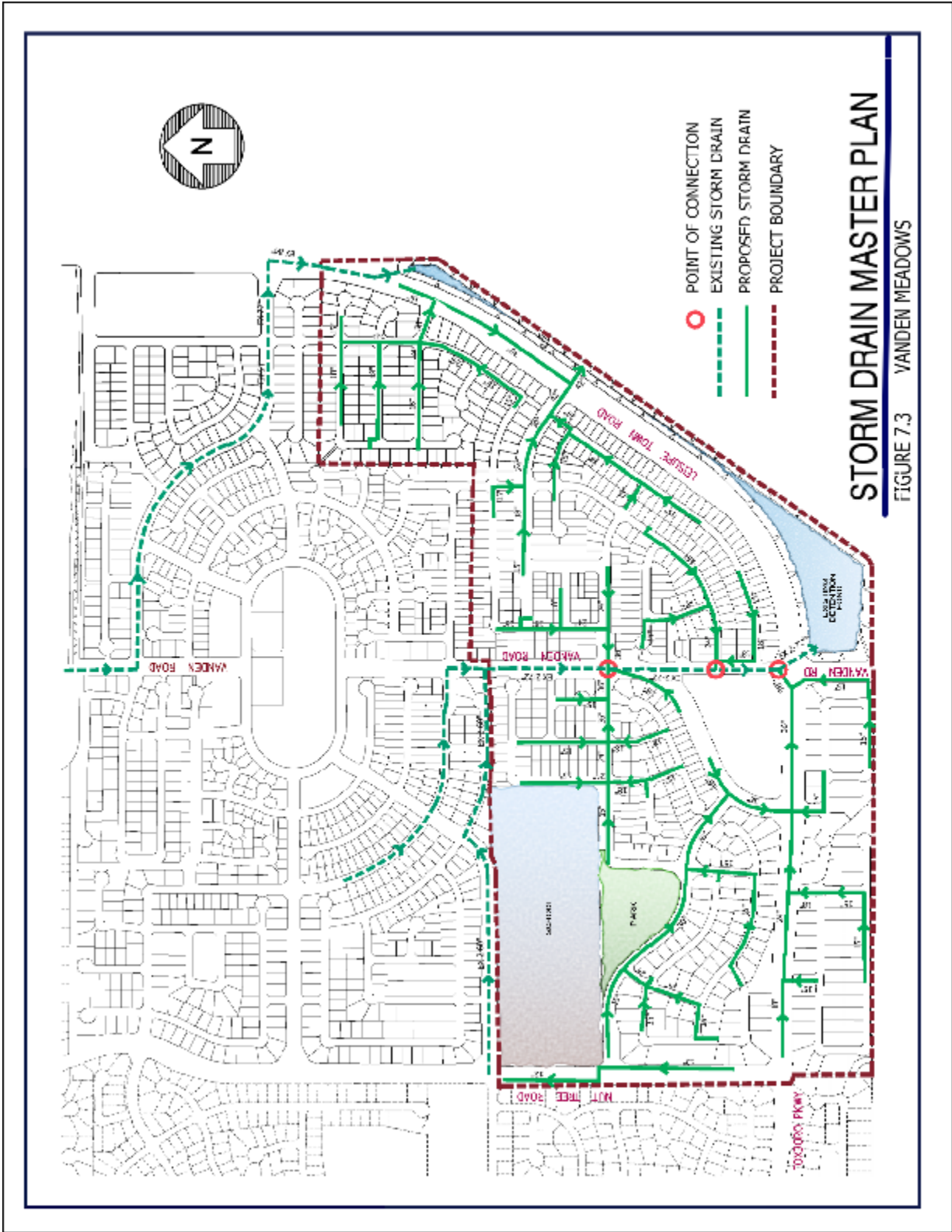
The WYA Report calls for the completion of the following improvements not constructed with the Southtown Project:

1. The existing SID twin 36" CMP culverts located just east of the Railroad shall be replaced with twin 60" culverts and a 36" culvert.
2. Under ultimate development of the Southeast Vanden Area an additional 190 cfs during the 10-year storm and about 310 cfs during the 100-year storm will be discharged into the existing open channel east of the Railroad (Noonan Drain and the D-1-C Spill); therefore the following improvements are required:

- a. The existing culverts at Meridian Road, Hay Road, and the private farm road shall be replaced with one of the following alternatives:
 - i. Twin 96" RCP culverts. The new culverts shall include concrete headwalls.
 - ii. 16' by 8' ConSpan culverts shall be installed at Meridian Road and Hay Road, and 16' by 10' ConSpan culvert at the private farm road.
- b. The top-of-bank shall be raised along the following reaches (See Table 7 of the WYA Report for more detail):
 - i. River Station 250+55 to 233+09 along the left bank;
 - ii. River Station 209+07 to 192+55 along the right bank;
 - iii. River Station 137+52 to 122+52 along the right bank; and from Station 122+52 to 107+70 along both banks;
 - iv. River Station 90+53 to 85+53 along the right bank;
 - v. River Station 65+67 to 54+60 along both banks; and Station 54+60 to 42+46 along the left bank.

As an alternative to the above improvements, the Developer may commission an update to the *Southeast Vanden Area Major Drainage Facilities Master Plan* to ascertain if other options are available.

7.4-P-1 Complete storm drainage improvements per the *Southeast Vanden Area Major Drainage Facilities Master Plan* (as may be amended) and reimburse the Southtown developers for their fair share of storm drainage infrastructure installed with that project.



STORM DRAIN MASTER PLAN

FIGURE 7.3 VANDEN MEADOWS

7.5 STORM WATER QUALITY

7.5.1 Introduction

The Vanden Meadows project is committed to fulfilling its Clean Water Runoff requirements. As required by the Regional Water Quality Control Board the project will have a Stormwater Pollution Prevention Plan (SWPPP) for the project along with identifying the Best Management Practices (BMPs) planned for implementing and maintaining procedures outlined in the SWPPP.

7.5-P-1 Prepare and implement a comprehensive Stormwater Pollution Prevention Plan (SWPPP) for the project.

7.5-P-2 The Project SWPPP shall identify all Best Management Practices (BMPs) planned for implementation during and following project construction, including Source Control BMPs, Treatment Control BMPs and Post- Construction BMPs. The South Vanden Detention Basin constructed by the Southtown Project is intended to serve as a regional detention basin and as the South Vanden Post Construction Storm Water Quality BMP device.

7.5-P-3 Require drainage facilities to minimize any increased potential for erosion or flooding.

7.6 FLOODPLAINS

7.6.1 Introduction

The Vanden Meadows area is not within a floodplain, as depicted on FEMA's Flood Insurance Rate Map (FIRM) Community Panel Numbers 06095C0279E and 06095C0283E dated July 3, 2008.

7.6-P-1 Ensure that the project continues to remain outside the floodplain in conformance with FEMA standards.

7.7 NATURAL GAS, ELECTRICITY, TELEPHONE, AND CABLE TELEVISION SERVICE

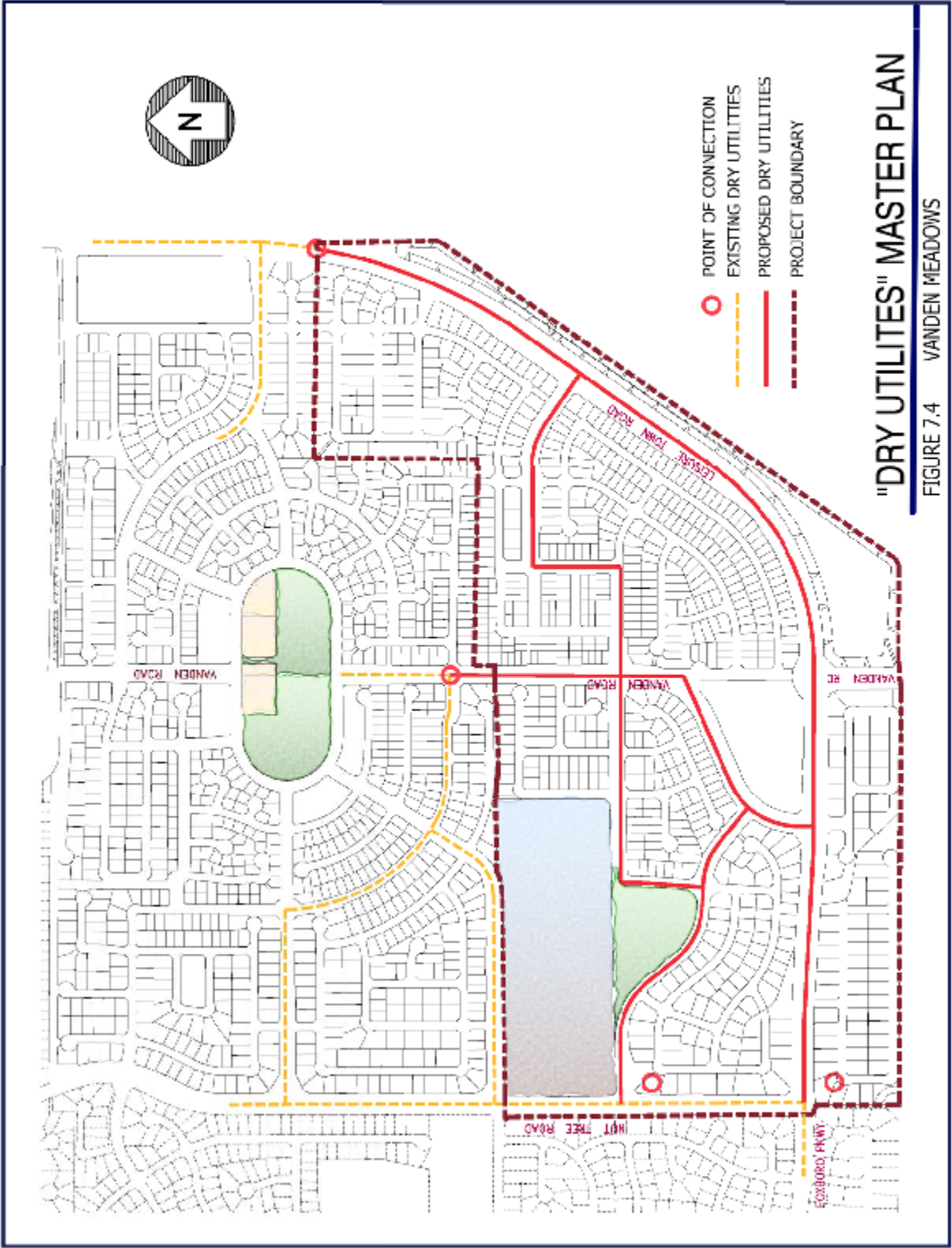
Goal: To provide a full complement of community services as needed in the Vanden Meadows area.

7.7.1 Introduction

Gas and electric will be provided by Pacific Gas & Electric (PG&E). Telephone will be provided by SBC, and cable television will be provided by Comcast. All new utilities within the Specific Plan area will be undergrounded. The existing overhead lines within the Specific Plan will be placed underground to the limits of the proposed project.

7.7-P-1 During the improvement plan design process the City of Vacaville and the developer will work with the utility companies to locate their transmission line corridors within the rights-of-way for streets.

7.7-P-2 During the improvement plan design process, the City of Vacaville and the developer will work with the utility companies to ensure that all new utilities and utility vault appurtenances will be placed underground in accordance with the Vacaville Municipal Code.



8.0 COMMUNITY SERVICES AND FACILITIES

8.1 FIRE PROTECTION

Goal: Provide is adequate fire protection in the Vanden Meadows Specific Plan area that is consistent with the standards maintained throughout the City.

Existing Service

Currently, fire protection within the Vanden Meadows area does not meet current City of Vacaville Fire Department Standards for response times. However, the Development Agreement for the Southtown project contains specific guidelines for construction of a new fire station within the park at Southtown. With construction of this fire station, the Vanden Meadows area will comply with the Fire Department standards for response times. With the implementation of CFD #12 the station is assured of having adequate staffing.

8.1-P-1 To ensure that adequate fire protection is in place, the Southtown Fire Station must be constructed and operational before the 619th building permit can be issued in the Southtown or Vanden Meadows project areas.

8.2 POLICE

Goal: Provide adequate police protection in the Vanden Meadows Specific Plan area that is consistent with the standards maintained throughout the City.

The Vanden Meadows Specific Plan area will be served by the Vacaville Police Department upon annexation to the City of Vacaville. As with fire protection, the implementation of CFD #12 will ensure adequate staffing for the area.

8.3 PARKS AND RECREATION

Goal: Develop a park and trail system which is designed to meet the needs of the future Vanden Meadows Specific Plan area residents.

The proposed park within the Vanden Meadows Specific Plan area (adjacent to the proposed school(s) site) exceeds the City of Vacaville requirements for neighborhood parks in a development area of this size. This park, when combined with the elaborate trail system, will provide for numerous outdoor recreational opportunities for the future Vanden Meadows residents.

The park and each section of trail will be constructed by the developer responsible for that portion of the project. The developer of the area surrounding the park (currently referred to as the Hockett Property) will construct the park and receive park fee credits for the construction of park improvements. The costs associated with dedication of the land will be spread among all the Vanden Meadow developers through a Benefit District (similar to the methodology used to spread the land costs for the Southtown Park as outlined in the Southeast Vanden Benefit District).

8.3-P-1 Prior to the approval of the first final map for the Vanden Meadows area, the City and the first developer shall establish funding mechanisms (e.g., Lighting and Landscape Maintenance District and Park Maintenance District, etc.) that provide for the maintenance of the Vanden Meadows neighborhood park and trail system.

8.3-P-2 The park and trail system shall be dedicated to the City of Vacaville with each respective development phase as a public amenity.

8.3-P-3 The Vanden Meadows Park should be of high quality and reflect the design theme of the Vanden Meadows Specific Plan area.

8.3-P-4 The developers of the Vanden Meadows Specific Plan area shall incorporate park and trail facilities to meet the neighborhood park standards specified in the City of Vacaville General Plan for new developments:

8.3-P-4.1 Ensure, as part of the approval process, that each new development provides its fair share of planned park and trail facilities as shown on Figures 4.3 and 5.1.

8.3-P-4.2 The acreage of these park and trail areas shall meet or exceed the minimum total neighborhood park acreage as specified in the City of Vacaville General Plan for new land use areas.

8.4 SCHOOLS

The Vanden Meadows Specific Plan area is within the Travis Unified School District boundaries. The District, in their latest master plan studies, has determined that there is a need for new school facilities in the Southeast Vanden area. Within the next 3-5 years it is expected that the District will need to construct facilities to house an expected student population of approximately 2,000. The facilities will either be an Elementary School and a Middle School or a combined K-8 School. That determination will take place over the next year or two as development occurs within the Southtown and Vanden Meadows areas.

It is anticipated that the District will proceed with construction based on the pace of development within the area. The school(s) will be constructed using school impact fees paid by the developers as houses are constructed in the Southtown and Vanden Meadows area.

8.5 SOLID WASTE

Goal: Incorporate into all development approvals adequate access for waste haulers and recycling.

Vacaville Sanitary Service (VSS) has the exclusive right to provide collection and hauling services for solid waste, recyclables, and yard waste as well as street sweeping services in the City of Vacaville through a franchise agreement, subject to limited exceptions stated in the Vacaville Municipal Code.

8.5-P-1 All development within the Vanden Meadows Specific Plan shall provide adequate areas for the placement of refuse bins and toters within their respective development areas.

9.0 IMPLEMENTATION

9.1 ADMINISTRATION OF THE SPECIFIC PLAN

The Vanden Meadows Specific Plan will be used to direct the processing of future development projects within the planning area. Since there is an extended timeframe for development, and the likelihood that multiple developers will be involved in the development of the Vanden Meadows Specific Plan Area, the following responsibilities and procedures will be necessary to review, monitor, coordinate and integrate the stages of development.

9.1.1. Responsibilities for Administration of the Specific Plan

Implementation of the Vanden Meadows Specific Plan will be a joint effort between the City of Vacaville and any developer who is proposing to develop in the Specific Plan area or who is a party to the DA with the City.

9.1.2 Development Review

The purpose of this section is to specify the steps required to review new development projects within the Vanden Meadows Specific Plan Area. All development projects proposed under this Specific Plan are to be reviewed in accordance with the provisions of the zoning code related to Specific Plans and Policy Plans. Review processes included in this section may be carried out concurrently.

All development within the Vanden Meadows area must be consistent with the Specific Plan. Where standards are not contained within the Specific Plan the development must be in compliance with the Vacaville Municipal Code.

9.1.3 Mitigation Monitoring

A program to monitor mitigation measures, adopted as a part of the environmental impact report for this Specific Plan, shall be carried out for all such affected projects in order to ensure compliance with the required mitigation measures during project implementation. An annual review for compliance of the required mitigation measures will be conducted as a part of the Development Agreement Review process.

9.1.4 Project Master Utility Plans and Fair Share Cost Allocation

Given the size of the Vanden Meadows Specific Plan and the anticipated time frame for buildout, a Master Utility Plan needs to be filed to detail the required infrastructure to be installed by each developer. As each Tentative Map is submitted, the map will be evaluated based on the Master Utility Plan to specifically determine the improvements required by said map.

With respect to fair share cost allocations for the infrastructure installed, it should be noted that the Southeast Vanden Benefit District (approved by the Vacaville City Council) defines the method of cost distribution. Further, if infrastructure items are required and not listed the developer may be eligible for a partial reimbursement from other developers as may be established in a subsequent benefit district.

9.2 PROCEDURE FOR ENVIRONMENTAL REVIEW

The Community Development Director will conduct an environmental assessment on each development application submitted to the City. If subsequent development is in accordance with the Specific Plan and no additional significant impacts can be identified, a new environmental document will not be necessary. If subsequent projects are found to cause additional significant effects, a subsequent EIR or mitigated negative declaration may be required. Subsequent environmental documents will be tiered with the original program environmental document and will incorporate parts of the original document by reference. Section 65457 of the California Government Code indicates that any residential development (including a subdivision or rezoning) that implements and is consistent with a Specific Plan for which an EIR has been certified after 1980, is exempt from additional CEQA review so long as major changes in the project do not occur. Subsequent development applications will be reviewed consistent with Sections 15162 and 15163 of CEQA.

9.3 PROJECT PHASING

There are five property owners within the Vanden Meadows Project area: the Travis Unified School District property comprising 28.41 Acres; the Evon Papin property comprising 11.46 Acres; the Park Lane Apartments property and the Belmont Homes property collectively comprising 97.86 acres and referred to as the Zocchi property; the Hockett property consisting of 75.11 acres; and the Montgomery property comprising 25.36 acres. The intent of this Section is to identify the responsibilities for each of the five property owners related to moving forward with their individual projects

9.3.1 Roads

Foxboro Parkway – If not completed with the Southtown Project, the first development within the Vanden Meadows Project area will be required to construct the middle 2 lanes of Foxboro Parkway from Nut Tree Road to Jepson Parkway (the existing intersection of Leisure Town Road and Vanden Road south).

The remaining frontage improvements for Foxboro Parkway will be completed when the property abutting the road develops.

Nut Tree Road - The frontage improvements for Nut Tree Road will be completed when the property abutting the road develops.

Leisure Town Road (future Jepson Parkway) - The frontage improvements for Leisure Town Road will be completed when the property abutting the road develops.

Vanden Road South (Jepson Parkway) - The west side frontage improvements for Vanden Road will be completed when the property abutting the road develops.

Vanden Road Realignment to Foxboro – If the property on the west side of Vanden Road (Hockett property) develops prior to the east side, that property will be responsible for the installation of the Vanden Road realignment. Costs for the realignment will be borne by the Hockett

property. If the property on the east side (Zocchi property) develops first, that project will be responsible for completing frontage improvements on that portion of Vanden Road to remain. Zocchi development will be required to keep Vanden Road open to traffic until the realignment is completed with the Hockett development. Other frontage improvements for Vanden Road will be constructed when the adjacent property develops.

Other roads within Vanden Meadows - All other roads shown within the Vanden Meadows development plan will be installed by the property owner where said road occurs.

Easements required – Since construction of the Foxboro Parkway connection will be required for any development within the Vanden Meadows area, the required right of way through the Montgomery property and the Hockett property will need to be acquired. With the processing of the annexation application it is anticipated that the right of way through the Hockett property will be dedicated to the City of Vacaville. It is anticipated that the right of way through the Montgomery property will be obtained through the condemnation process once the property is annexed to the City of Vacaville.

9.3.2 Potable Water

With the development of any parcel within the Vanden Meadows project area adequate provisions for a “looped water system” must be made in conformance with the Potable Water Master Layout (See figure 7.1.1). The key components of the water system in the project area comprise the following trunk mains: 18” water trunk line in Leisure Town Road; the 12” water trunk line in Vanden Road; and the 12” water trunk line in the Foxboro Parkway extension. As each tentative map is developed a water system analysis will be required to ensure adequate water pressure.

Specific issues for development of each of the parcels are as follows:

For the property east of Vanden Road (the Zocchi property), if Southtown or Southtown Commons has not extended the 18” water trunk main across Alamo Creek to the Zocchi property the Zocchi project will need to

complete this segment of the line and get reimbursed in the future by the developers of Southtown Phase 1A and Southtown Commons. Further, if this property were to develop first, the project will be required to complete the 18" water trunk in Leisure Town Road, a portion of the 12" line in Vanden Road and an internal line through the project to complete the loop. Any phasing of the Zocchi project may require additional looping per the Potable Water Master Plan.

For the Evon Papin property, developing first will require installation of the 12" water trunk main in Vanden Road along the property frontage.

For the Hockett property to develop first, the 12" water trunk main in Vanden Road will need to be constructed from its present terminus in Vanden Road (southern end of the Southtown Project) down Vanden Road to Foxboro Parkway and back through the project to Nut Tree Road. As with the Zocchi property any internal phasing of the Hockett project will require additional looping per the Potable Water Master Plan.

For the Montgomery property to develop first the water line in Vanden Road will need to be constructed from the existing terminus in Vanden Road (same location as described in the Hockett paragraph above) down Vanden Road to Foxboro Parkway and then west to the existing 12" water line in Nut Tree Road.

Easements required – Since construction of the Foxboro Parkway connection will be required for any development within the Vanden Meadows area, the required right of way through the Montgomery property and the Hockett property will need to be acquired. With the submittal of the application it is anticipated that the right of way through the Hockett property will be dedicated to the City of Vacaville. It is anticipated that the right of way through the Montgomery property will be obtained through the condemnation process once the property is annexed to the City of Vacaville.

9.3.3 Non Potable Water

As with the Potable Water system, development of any parcel within the Vanden Meadows project area adequate provisions for an appropriate non-potable system must be made in conformance with the Non Potable Water Master Plan (See figure 7.1.2). The key components of the water system in the project area comprise the following trunk mains: 8" water trunk line in Leisure Town Road; the 8" water trunk line in Vanden Road; and the 8" water trunk line in the Foxboro Parkway extension. As each tentative map is developed a water system analysis will be required to ensure adequate water pressure.

If not constructed with the Southtown Project, a permanent non potable water pump station will need to be constructed with the first development in the Vanden Meadows area. The cost for this pump station is identified in the Southeast Vanden Benefit District and will be shared by all developers within the Southtown and Vanden Meadows project area.

Specific issues for development of each of the parcels are as follows:

For the property east of Vanden Road (the Zocchi property), developing this property first will necessitate the installation of the 8" water line in Leisure Town Road, a portion of the 8" line in Vanden Road and a line through the project to complete the loop. Any internal phasing of the Zocchi project may require additional looping per the Non Potable Water Master Plan.

For the Evon Papin property, developing first will require installation of the 8" water trunk main in Vanden Road along the property frontage.

For the Hockett property to develop first, the 8" water trunk main in Vanden Road will need to be constructed from its present terminus in Vanden Road (southern end of the Southtown Project), down Vanden Road to Foxboro Parkway and back through the project to Nut Tree Road. As with the Zocchi property, any internal phasing of the Hockett project will require additional looping per the Potable Water Master Layout.

For the Montgomery property to develop first the water line in Vanden Road will need to be constructed from the existing terminus in Vanden Road (same location as described in the Hockett paragraph above), down Vanden Road to Foxboro Parkway and then west to the existing 12" water line in Nut Tree Road.

Easements required – Since construction of the Foxboro Parkway connection will be required for any development within the Vanden Meadows area, the required right of way through the Montgomery property and the Hockett property will need to be acquired. With the submittal of the application it is anticipated that the right of way through the Hockett property will be dedicated to the City of Vacaville. It is anticipated that the right of way through the Montgomery property will be obtained through the condemnation process once the property is annexed to the City of Vacaville.

9.3.4 Sewer

As discussed in Section 7.3 and detailed on Figure 7.2.2, three off-site sewer upgrades are required with development of the Southtown and Vanden Meadows Projects.

Those sewer improvements will be either be partially reimbursed by the Southeast Vanden Benefit District or fully reimbursed by Sewer Impact Fees. As each Tentative Map in the Vanden Meadows area is processed it is expected that the Conditions of Approval will include the Upgrades listed below.

Upgrade 1: Triggered by issuance of the 770th building permit within the Southeast Vanden area (which includes both Southtown and Vanden Meadows). The upgrade requires the replacement of approximately 8,200 lineal feet of existing 27"SS with 36"SS. West Yost Associates (WYA) estimated the cost at \$7.45 million. Depending on timing for buildout of Southtown and Vanden Meadows, these improvements may be triggered by Southtown before Vanden Meadows acquires any building permits. These improvements are included in DIF 54A; therefore, the developer that pulls the 770th

permit and constructs these improvements will be eligible for fee credits related to this work.

Upgrade 2: This upgrade is triggered by issuance of the 1,700th building permit within the Southeast Vanden area. The work involves replacing approximately 1,800 lineal feet of existing 24"SS with 27"SS. WYA estimated the cost at \$1.44 million. This work will very likely to be triggered by permits for Vanden Meadows. These improvements are not listed in the City of Vacaville DIF program; therefore the developer that installs these improvements will receive a credit for their fees related to the Southeast Vanden Benefit District.

Upgrade 3: This upgrade is triggered by issuance of the 2,350th building permit in the Southeast Vanden area. The work involves replacing approximately 1,200 lineal feet of existing 27"SS with 30"SS. WYA estimates the cost at \$1.62 million. This work will very likely to be triggered by permits for Vanden Meadows. These improvements are included in DIF 54B; therefore, the developer that pulls the 2350th permit and constructs these improvements will be eligible for fee credits related to this work.

Specific issues for development of each of the parcels are as follows:

For the property east of Vanden Road (the Zocchi property), the western half of the property will sewer to an existing 24" line in Vanden Road. The eastern half of the property will sewer to the north through Southtown Phase 1A. If not constructed with the Southtown Project, development of the eastern half will require constructing the sewer line through Phase 1A, through property referred to as Sterling Chateau 6 and across Alamo Creek into the existing 24" sewer line on the north side of Alamo Creek.

For the Evon Papin property, the sewer system will tie directly into the 24" sewer line in Vanden Road.

For development of the Hockett property, the on-site sewer system will tie in directly into the existing 24" sewer line which traverses the northern portion of the property.

For development of the Montgomery property, the on-site sewer system will tie into the existing 21" sewer line which exists in Foxboro Parkway and Nut Tree Road.

Easements required – A sewer easement to the north of Alamo Creek will be required for development of the eastern half of the Zocchi property.

9.3.5 Storm Drain

The backbone storm drainage system for the Southeast Vanden Area was installed with the Southtown project. That backbone system includes the twin 72" lines in Vanden Road and the detention basin on the east side of Leisure Town Road.

Specific issues for development of each of the parcels are as follows:

For the property east of Vanden Road (the Zocchi property), the western half of the property will drain into the existing twin 72" lines in Vanden Road. The eastern half of the property will drain directly into the Detention Basin on the east side of Leisure Town Road.

For the Evon Papin property, the on-site drainage system will tie directly into the twin 72" lines in Vanden Road.

For development of the Hockett property the on-site drainage system will tie in directly into the existing twin 72" lines in Vanden Road.

For development of the Montgomery property the on-site drainage system will tie into the existing twin 72" lines in Vanden Road by following the Foxboro Parkway alignment through the Hockett property.

Easements required – A storm drain easement through the Hockett property along the Foxboro Parkway alignment will be required for development of the Montgomery property.

9.4 FUNDING MECHANISMS

It is anticipated that construction of the public infrastructure improvements will be constructed by the developers as outlined in Section 9.3 above. It is recognized that some developers may install infrastructure improvements that benefit other developers in the area. Further, it is recognized that the Southtown Project installed infrastructure improvements that benefit the Vanden Meadows Project area and as such, the City Council has adopted the Southeast Vanden Benefit District which identifies required improvements in the Southtown and Vanden Meadows area and establishes the fair share allocation of those costs to each developer.

9.4.1 City Impact Fees

The City of Vacaville has adopted a set of development impact fees to finance citywide capital facilities requirements and sewer, water, storm drain and traffic improvements. The fee structure requires the payment of fees with the building permit and anticipates the construction of capital facilities at the time that development has met an identified impact threshold. Citywide, all new development is required to participate in the program. Fire, police, drainage conveyance (offsite), parks, schools, and green belt buffers are covered by the fee program.

9.4.2 School Impact Fees

The City of Vacaville has enacted a police power ordinance to impose school impact fees on new development. These fees are used to finance the construction of school facilities. As with the Southtown Project, the developers of the Vanden Meadows Project will need to negotiate the fee rate with the Travis Unified School District. Said agreed upon fee will be paid with each building permit.

9.4.3 Park and Recreation Fees

The City of Vacaville has adopted a police power ordinance to impose fees for parks and recreational uses on new development. The City requires the dedication of 4.5 acres of Park land for every 1,000 residents. Per that requirement the Vanden Meadows area would be required to dedicate The Vanden Meadows Project proposes dedicating to the City of Vacaville more

Park acreage than is required by the Ordinance. The developer of the area surrounding the park (currently referred to as the Hockett Property) would construct the park and negotiate a park fee agreement with the City of Vacaville to obtain credits for the construction of park improvements. The costs associated with dedication of the land would be spread among all the Vanden Meadow developers through a Benefit District (similar to the methodology used to spread the land costs for the Southtown Park as outlined in the Southeast Vanden Benefit District).

9.4.5 Southeast Vanden Benefit District

The City Council for the City of Vacaville approved the Southeast Vanden Benefit District which identifies major area wide infrastructure improvements and establishes the cost responsibilities for each of the property owners within the District. The Vanden Meadows area is already included in the Benefit District and as such will simply pay the required fees, as established in that District.

9.5 MAINTENANCE

9.5.1 Public Safety District (CFD #12)

Public Safety District also known as Community Facilities District (CFD) #12 has been established by the City Council to pay for police and fire services in new development areas within the City. Vanden Meadows will be required to annex into CFD #12.

9.5.2 Lighting and Landscape District

The Vanden Meadows area will be required to annex into the Southtown Lighting and Landscape District for ongoing maintenance of the backup landscaping, trail landscaping, and street lights in the area.

9.5.3 Parks Maintenance District

The Vanden Meadows area will be required to annex into the Southtown Park Maintenance for ongoing maintenance of the parks in the Southeast Vanden Area.

9.6 PROCEDURE FOR AMENDING THE SPECIFIC PLAN

The procedure for amending the Specific Plan as specified in the Land Use and Development Code (Chapter 14.09.112) requires submittal of an application and accompanying processing fees. Before amending the Specific Plan, the City will refer the action to the appropriate agencies that will participate in the review of the proposed amendment. The City will also provide opportunities for the public to become involved in any future amendment. Amendments are permitted to the Specific Plan, without the necessity to amend the Development Agreement, as long as such amendments are not inconsistent with the Development Agreement. Amendments may be initiated by a property owner or by the City.

9.6.1 Amendment with Rezoning

If the Community Development Director determines that a zone change is required, said applications shall be reviewed in addition to the Specific Plan Amendment itself, and may be reviewed concurrently.

9.6.2 Administrative Changes

Given that the buildout period for the Specific Plan will occur over several years and that the figures are illustrative, the Community Development Director may make administrative changes to the Specific Plan. These administrative changes are not considered amendments:

- a) Changes to the provision of community infrastructure, such as drainage, water and sewer systems that do not have the effect of increasing or decreasing the development capacity in the Vanden Meadows area.
- b) Changes to Land Use or Phasing Area boundaries that would not affect dwelling unit ceiling or infrastructure sizing.

9.7 ADMINISTRATION OF THE DEVELOPMENT AGREEMENT

Annually on the anniversary of the signing of the Development Agreement, the developers for Vanden Meadows will submit a report on the status of the agreement as provided by the Vacaville Municipal Code. The report will

include the status of measures assigned to the developer for implementation by the Development Agreement and the Mitigation Monitoring Program.

An amendment to the Development Agreement necessitates the concurrence of the landowners and the majority of the City Council. Amendments will require a duly noticed public hearing.